



# staff report

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**TO:** Honorable Chairman and Members of the Planning Commission

**ATTENTION:** Rowena Genilo-Concepcion, Interim Director of Planning and Building Services

**FROM:** Jason P. Clarke, Acting Planning Manager

**SUBJECT:** Consideration and possible action to conduct a public hearing to consider an application from Michelle Bennett (representing In-N-Out Burger Inc.) for a Conditional Use Permit, Development Review and Sign Permit, and adopt Resolution No. PC 18-05 – A Resolution approving Conditional Use Permit Case No. CU 18-02 and Development Review Case No. DR 2-18-8742 to construct a new 3,878-square foot, drive-through restaurant on parcels of less than 1.5 acres, and Sign Permit Case No. SP 18-01 to: (1) construct a double-face, 75-foot tall freestanding freeway identification sign that exceeds the maximum allowable height of 25 feet, and (2) allow for one of the freestanding signs to be located along Beverly Street, which has a street frontage of less than 150 feet, within the Design for Development for the South Bellflower Commercial Area (DFD) on property located at 17325 Bellflower Boulevard.

**DATE:** June 4, 2018

## RECOMMENDATION

1. Open the public hearing, receive testimony, close the public hearing, consider the evidence, and adopt Resolution No. PC 18-05; or
2. Alternatively, discuss and take other action related to this item.

## PUBLIC NOTICE

A Notice of Public Hearing was published in the Herald American (Bellflower Edition) newspaper on May 24, 2018. Public hearing notices were sent on May 24, 2018 to 32 property owners within a 300' radius of the project area and posted at City Hall, Brakensiek Library, Bellflower Substation, Thompson Park, Simms Park, and Caruthers Park. Public hearing notices were also posted on the subject site on May 25, 2018. As of the writing of this staff report, the City has received two correspondences (*Attachment H*).

## CEQA STATUS

Pursuant to the authority and criteria of the California Environmental Quality Act (CEQA), an environmental assessment has been conducted for this project.

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has been determined to be Categorically Exempt (Class 3, § 15303) from the provisions of CEQA (New Construction or Conversion of Small Structures) because the project involves the construction of a new drive-through restaurant structure and freestanding signs in an urbanized area not exceeding 10,000 square feet in floor area on a site zoned for such use, and does not involve the use of significant amounts of hazardous substances, where all necessary public services and facilities are available, and the surrounding area is not environmentally sensitive. **(Attachment A)**

**BACKGROUND**

Property Owner:	Bradley Becker, dba Bellflower 111 Partners, LLC
General Plan Land Use Designation:	"C" Commercial
Zoning Classification:	Design for Development for the South Bellflower Commercial Area (DFD)
Property Size:	63,508-square feet (1.45 acres)
Current Development:	Vacant Building and Partially Demolished
Previous Applications/Entitlements:	Resolution No. 624 – Variance Case No. BV-193 for less parking at 17325 Bellflower Boulevard  Resolution No. 616 – CUP Case No. CU-194 construct an addition for a new kitchen to existing bar and restaurant serving at 9747 Artesia Boulevard  Resolution No. 638 – CUP Case No. CU-206 construct addition for a new kitchen for a bona fide restaurant serving alcohol at 9747 Artesia Boulevard  Resolution No. 727 – CUP Case No. CU-243 to expand floor area of an existing bar at 9747 Artesia Boulevard
Surrounding Land Uses and Zoning:	
North	91 Freeway
South	Mixed Use Development (M-1 zone), and Auto Body Shop and Shopping Center (DFD zone)
West	Four residential units (R-3 zone), and Motel (DFD zone)
East	Restaurant Use (DFD zone)

The subject site is comprised of four lots, located at the northwest corner of Artesia Boulevard and Bellflower Boulevard. Currently, the subject site is accessible from Bellflower Boulevard to the east (via two existing driveways), Artesia Boulevard south (via two three driveways), and Beverly Street to the northwest (via one driveway). Two of the four lots, located adjacent Bellflower Boulevard, was formerly developed with a 9,746-square foot multi-tenant commercial building with residential uses above, which was demolished in May 2018. The former "Fritz" building fronting Artesia Boulevard, which measures 5,524 square feet, will also be demolished. The site is bounded by existing walls and fences along the west property line.

## **PROJECT DESCRIPTION**

### **➤ Request**

The Applicant is requesting a Conditional Use Permit (CUP) approval for a 3,878-square foot drive-through restaurant, propose development on less than 1.5 acres of land; and a Sign Permit approval for a freestanding freeway identification sign to exceed the maximum allowable height and to be located along a street frontage less than 150 feet. The proposal is subject to the standards of both the DFD and the General Commercial (CG) zones [BMC §§ 17.65 and 7.44].

### **• Restaurant and Site Improvements**

**Restaurant Operation** – The proposed business hours for the restaurant are: Sunday thru Thursday from 10:30 a.m. to 1:00 a.m., and extends through 1:30 a.m. on Fridays and Saturdays. The restaurant anticipates having 10-15 employees per shift, and there will be three shifts per day. In order to avoid on-site circulation issues and parking, deliveries are proposed to be outside the business hours, from 1:00 a.m. to 9:00 a.m. during weekdays, and 1:30 a.m. to 9:00 a.m. on weekends. Delivery vehicles, 18-wheeler trucks, will enter the site off of Bellflower Boulevard and will exit on Artesia Boulevard.

**Restaurant Building** - The proposed one-story restaurant building measures 3,878-square feet in size, with a dining area that seats 82 (additional 32 seats available for outside dining). The proposed building has modern Spanish style features, and incorporates In-N-Out signature features: four-sided architecture that includes stucco siding, cornices, “S” shape tiles, varying roof styles and height. The roof styles are flat and pitched, with three different roof heights. The highest part of the roof is the pitched-roof tower element, which measures 28’-10” in height. Columns are proposed to support the canopies located above the drive-through window areas (pay and pick-up areas). The canopy above the pay window area measures 352 square feet and the canopy above the pick-up window area measures 708 square feet. The exterior building colors are predominantly sand float with a red band at the bottom of the building and red lighting throughout. All the windows include a red awning with palm tree logos on the awning lip.

**Site Configuration** – The proposed building will be constructed near the southeast corner of the subject site, accessible via a driveway off of Artesia Boulevard and a driveway off of Bellflower Boulevard. The existing driveway off of Beverly Street is proposed to be removed. The Applicant indicated that she anticipates that drive-through patrons are more likely to access the site via Artesia Boulevard. However, Bellflower Boulevard will remain accessible to patrons who would like to dine in, pick-up orders, or wait to be in queuing for the drive-through. The Applicant proposes to have staff within the parking lot area to direct patrons to the drive-through lane and to take orders. Both driveways along Artesia Boulevard and Bellflower Boulevard will be designated as right-turn exits only. Each driveway includes decorative paving within the first 10 feet of the site.

A total of 68 parking spaces and one loading space are proposed, which exceed the minimum required parking of 16 spaces (13 spaces for the 3,878-square foot building and 3 spaces for outside seating area). The parking spaces are accessible via drive aisles that range from 25 feet to 38.42 feet in width. All of the proposed parking spaces measures 9 feet in width by 20 feet in length; and the proposed loading space measures 10 feet in width by 20 feet in length. All parking spaces are adjacent to concrete curbs, except for eight spaces located near the trash enclosure. In addition, the site includes a space for bike racks.

**Drive-Through Layout** - As shown on the site plan, the drive-through lane is primarily located along the south side of the property, leads to the drive-through pick-up window area facing Bellflower Boulevard, and exits west into the parking lot. The narrowest portion of the drive-through lane is 11 feet and the widest portion is 17.63 feet. The drive-through lane has a queuing capacity of 20 vehicles and an additional queuing area for 8 vehicles are proposed at the northwest area of the subject site as illustrated and described in the traffic study (***Attachment E***).

**Walls and Fences** - The Applicant is proposing a new six-foot tall decorative block wall along portions of the west property line. Because the subject site abuts residential uses along the west property line, the minimum wall height requirement is six feet. In order to comply, the Applicant is proposing to replace the existing walls - if located on the subject site, or build a secondary wall (i.e., double wall) - if located on the neighboring property or paint the existing walls to match the new wall and development and increase the height is needed. The Applicant indicated that the reason for constructing a double wall is to prevent having to alter or remove existing walls/fences on neighboring properties. During the Develop Review (DR) process, staff recommended that a new decorative block wall along the entire west property line be constructed; however, the Commission could consider the Applicant's request to only replace the existing chain link fence and for the existing block wall to be altered to match the new block wall. (***See Attachment I***)

**Landscaping** - The Applicant is proposing 10,236 square feet of landscaping on the site, consisting of 5,502 square feet within the parking lot (11.5% of parking lot area). The landscaping is dispersed throughout the site, with 10-foot wide landscape planters along the street frontages. Accented dry stream beds are proposed within landscape planters that are at least 10 feet in width. Also, the Applicant is proposing to install the In-N-Out signature "X" palm trees near the driveway along the southwest property line.

**Trash Enclosure/Pick Up** - A 440-square foot decorative trash enclosure with a trellis cover is proposed near the northwest portion of the subject site; which has been approved by CR&R. With the trellis cover, the trash enclosure stands 11'-9" high. It is proposed to be architecturally compatible with the proposed building, as it relates to material and color. Typically, commercial sites are provided with metal bins; however, In-N-Out uses a different disposal system (*Verti-pak "Side Channel" compactor; 2yd bins*), which according to CR&R are industry standards. The written description and agreement between CR&R and In-N-Out is included as ***Attachment G***.



➤ ***Freestanding Freeway Sign (“Pole Sign”)/Monument Sign/Other Signs***

The Applicant is requesting approval of a 197.1-square foot, 75-foot tall pole sign as part of this project. Initially, the pole sign was proposed to be constructed at the northwest corner of the site. However, due to the proposed sign’s proximity to the Southern California Edison’s power lines, the Applicant is proposing two alternate locations: **Location 1** is near the northwest property line, adjacent Beverly Street. Beverly Street has a street frontage of approximately 65 feet with a radius of 38. The sign is proposed to be located approximately 65 feet from the west property line, and 10 feet from the north property line (approximately 130 feet from the 91 Freeway); or **Location 2**, which is within a landscape planter within the parking lot, near the northeast property line and parallel to Bellflower Boulevard. Bellflower Boulevard has a street frontage of more than 150 feet. The sign is proposed to be located approximately 60 feet from the east property line, and approximately 150 feet from the 91 Freeway. The Planning Commission has the option to approve either Location 1 or Location 2 for the proposed pole sign. Staff recommends Location 2 because it is farther from the residential uses to the west, and is closer to the initially proposed sign location.

In addition to the pole sign, a monument sign is proposed to be located at the southeast corner of the site, located approximately 8 feet from the property lines off Artesia Boulevard and Bellflower Boulevard (each having a street frontage of over 150 feet). The proposed monument sign measures 8 feet in height by 8 feet in width. The top portion of the monument sign includes In-N-Out’s name and logo, while the 2-foot base of the sign includes the City of Bellflower logo and the phrase “Welcome to Downtown Bellflower.” Other signs being proposed include wall signs, drive-thru signs, a menu board/sign, parking lot signs, and an interior neon sign. The signs mentioned in this paragraph are permitted by right and thus not subject to Planning Commission approval.

**PROJECT ANALYSIS**

➤ ***Traffic Impact Analysis (“TIA”)***

On March 28, 2018, an updated Traffic Impact Analysis was submitted by the Applicant for City’s review (***Attachment E***). The highlights of the updated TIA are:

- For Existing Plus Project Conditions, all study area intersections are operating at Level of Service (LOS) D or better. Based on the thresholds set by the City of Bellflower, the project is forecasted to not generate a significant impact to any of the project study intersections for the Existing Plus Project Conditions.
- With regards to future median opening on Artesia Boulevard, based on the thresholds set by the City of Bellflower, the project is forecasted to not generate a significant impact to any of the project study intersections for the Existing Plus Project, with Median Opening (Right-Turn Out Only Driveway) Conditions.
- Average peak vehicular queue lengths are 17 vehicles for the weekday PM peak hour and 23 vehicles for Saturday mid-day peak hour. Therefore, the drive-

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through storage capacity, as shown on the site plan is forecasted to be sufficient during the weekday PM and Saturday MD peak periods.

Upon review of the updated document, the City Engineer concurred with the conclusions and recommendations noted on the TIA. Those conclusions and recommendations are found on pages 61-64 of the TIA. Staff has incorporated all of the recommendations indicated in the TIA as conditions of approval for the project. Also the TIA must be revised to include updated data to reflect the current project plans (i.e. number total parking spaces, number of indoor and outdoor seating, site plan etc.) (**See Resolution No. PC 18-05, Exhibit A, Condition Nos. 28, 34 and 35**).

➤ **Monument Sign**

Pursuant to BMC § 17.65.080(2) of the DFD zone, monument sign “typically does not exceed a height greater than six (6) feet.” As proposed, the sign exceeds the typical height for a monument sign because the City of Bellflower logo and the phrase “Welcome to Downtown Bellflower” were incorporated into the design. In analyzing the design of the monument sign, it was deemed by Staff that the two-foot deviation in height is acceptable because the existing DFD language provides for flexibility - in that it uses the term “typically” rather than “cannot.”

➤ **Required Lot Size of 1.5 acres in the DFD**

Pursuant to BMC §17.65.080 (Conditional Uses), a minimum lot size requirement of 1.5 acres (65,340 square feet) is required for any new development within the DFD Area to encourage larger commercial/retail developments. Per the DFD, every effort must be made and demonstrated to assemble parcels to meet the minimum lot size requirements. For projects not meeting the minimum required lot size, a CUP is required.

On October 23, 2017, Lot Line Adjustment No. LLA-10-17-8443 was completed to combine three parcels into one as part of a future road-widening project along Bellflower Boulevard. After the lot line adjustment and future road-widening project, there are four parcels remaining and the total land area is decreased by approximately 3,820 square feet. The remaining total combined lot size is approximately 63,508-square feet (1.45 acres). Before the lot line adjustment was completed, the area was comprised of six (6) parcels measuring a combined total of 67,328 square feet (or 1.54 acres).

On February 26, 2018, the City sold approximately 9,099 square feet of surplus land located at 9571 Artesia Boulevard to the property owner to meet the 1.5 acre of land requirement. On May 25, 2018, the property owner submitted a line adjustment application (LLA No. 5-18-9047) to combine the remaining four parcels into one parcel.

Every effort was made and demonstrated by the property owner to assemble parcels to meet the minimum lot size requirements; however, since the total combined lot size is less than 1.5 acres, a CUP is required.

➤ ***Consultation with the Native American Tribes***

On February 27, 2018 and March 3, 2018, the project was routed to eight California Native American Tribes for AB52 consultation because the project was conservatively anticipated to be subject to a Mitigated Negative Declaration. Of the eight tribes, only one tribe responded. During the consultation period, the tribe required the Applicant to retain a Native American Monitor during construction. However, upon receiving an updated Traffic Impact Analysis, it was deemed that the project qualifies as a Categorically Exempt project and preparation of a Mitigated Negative Declaration was not necessary. However, because the tribe had already required the Applicant to provide a monitor on-site, a condition is being recommended that the Applicant coordinate with the Native American Tribe (**See Resolution No. PC 18-05, Exhibit A, Condition No. 22**).

➤ ***Bellflower Municipal Code***

**CUP** - Pursuant to BMC § 17.65.080(1) (Conditional Uses) of the DFD zone, Developments on parcels of less than 1.5 acres is subject to a Conditional Use Permit. Before the Commission grants approval of a CUP, it must find that the project meets all the conditions outlined in BMC Section 17.96.040. As proposed, the project meets all four findings, as outlined in Resolution No. PC 18-05 (**Attachment A**).

**CUP** - Pursuant to BMC § 17.65.080(2) (Conditional Uses) of the DFD zone, the drive-through facility is subject to a Conditional Use Permit. Before the Commission grants approval of a CUP, it must find that the project meets all the conditions outlined in BMC Section 17.96.040. As proposed, the project meets all four findings, as outlined in Resolution No. PC 18-05 (**Attachment A**).

**Sign Permit** - Pursuant to BMC § 17.65.030 (Special Controls), any development within the DFD area must comply with the regulations of the DFD chapter in addition to the required development standards of the C-G (General Commercial) Zone. As such the proposed freestanding freeway identification sign is subject to BMC § 17.68.030(A) (On-Premises Signs in the General Commercial Zone) of the CG zone, which limits the height of the sign to no more than 25 feet above grade level; and also limits one freestanding sign to be located only along a street frontage of 150 feet or more. Thus the proposed freestanding freeway identification sign is subject to a Sign permit because it exceeds the height requirement and Location 1 is along Beverly Street, which has less than the minimum street frontage. Before the Commission grants approval of a Sign Permit, it must find that the project complies with the criteria in BMC § 17.68.030(A)(6). As proposed, the project meets all four criteria, as outlined in Resolution No. PC 18-05 (**Attachment A**).

**DFD** - Pursuant to BMC § 17.65.010 (Purpose and Intent), it is the goal of the DFD to promote freeway and highway oriented commercial/retail uses that have a commercial/retail development intensity that is directly correlated to the unique business opportunity that the DFD Area provides because of the its location, visibility, and superior access to the regional freeway network. The project meets the goals and objectives of the DFD, as outlined in Resolution No. PC 18-05 (**Attachment A**).

Furthermore, pursuant to BMC § 17.65.070 (Permitted Uses), the restaurant use is defined as a “community-serving commercial” and “freeway-oriented commercial” use and is a permitted by right use in the DFD.

➤ ***Conditions of Approval***

Pursuant to BMC § 17.96.080 (Conditions), the Planning Commission may establish Conditions of Approval that are found to be necessary to secure substantial protection for the public health, safety, comfort, convenience and general welfare. Included as **Attachment A** is the resolution containing an exhibit that outlines the conditions of approval for the project, some of which are:

- Providing wheel stops for parking spaces near the trash enclosure area (**See Resolution No. PC 18-05, Exhibit A, Condition No. 17**).
- Revising the site plan to include the location of the bike racks and the bike racks being required to be decorative (**See Resolution No. PC 18-05, Exhibit A, Condition No. 18**).
- The delivery trucks must comply with truck route provisions (**See Resolution No. PC 18-05, Exhibit A, Condition No. 19**).
- The apron along Bellflower Boulevard must comply with Caltrans distance requirement (**See Resolution No. PC 18-05, Exhibit A, Condition No. 20**).
- Coordinating with Metro for existing bus stop along Artesia Boulevard that may have to be relocated (**See Resolution No. PC 18-05, Exhibit A, Condition No. 21**).
- Submitting a master sign plan for all proposed signs. Final design for City name on monument must be approved by the Director of Planning and Building Services or designee (**See Resolution No. PC 18-05, Exhibit A, Condition Nos. 24 & 25**).
- Completing a Lot Line Adjustment to consolidate the existing four parcels into one parcel (**See Resolution No. PC 18-05, Exhibit A, Condition No. 26**).
- Delineating (i.e. pavement marking) and providing appropriate signage informing customers the use of the drive-through queue storage area (**See Resolution No. PC 18-05, Exhibit A, Condition No. 27**).

**ATTACHMENTS**

- A. Resolution No. PC 18-05
- B. Project Process and Timeline
- C. DR Letter
- D. Aerial, Assessor’s Map, Zoning Map and General Plan Map
- E. Traffic Impact Memorandum and Traffic Impact Analysis (CD provided and conclusion printed)
- F. Phase I Environmental Site Assessment Update (CD provided and conclusion printed)
- G. CR&R Trash Agreement
- H. Correspondences
- I. Project Documents Submitted by Applicant (Including, operation, project plans, sign plans, etc.)

**Attachment A**  
Resolution No. PC 18-05

CITY OF BELLFLOWER

RESOLUTION NO. PC 18-05

A RESOLUTION APPROVING CONDITIONAL USE PERMIT CASE NO. CU 18-02 AND DEVELOPMENT REVIEW CASE NO. DR 2-18-8742 TO CONSTRUCT A NEW 3,878-SQUARE FOOT, DRIVE-THROUGH RESTAURANT, ON PARCELS OF LESS THAN 1.5 ACRES, AND SIGN PERMIT CASE NO. SP 18-01 TO: (1) CONSTRUCT A DOUBLE-FACE, 75-FOOT TALL FREESTANDING FREEWAY IDENTIFICATION SIGN THAT EXCEEDS THE MAXIMUM ALLOWABLE HEIGHT OF 25 FEET, AND (2) ALLOW FOR ONE OF THE FREESTANDING SIGNS TO BE LOCATED ALONG BEVERLY STREET, WHICH HAS A STREET FRONTAGE OF LESS THAN 150 FEET, WITHIN THE DESIGN FOR DEVELOPMENT FOR THE SOUTH BELLFLOWER COMMERCIAL AREA (DFD) ON PROPERTY LOCATED AT 17325 BELLFLOWER BOULEVARD. APPLICANT: MICHELLE BENNETT (REPRESENTING IN-N-OUT BURGER INC)

THE PLANNING COMMISSION RESOLVES AS FOLLOWS:

**SECTION 1:** *Recitals.* The Planning Commission finds and declares as follows:

- A. On February 8, 2018, Ms. Michelle Bennett, representing In-N-Out Burger Inc (the "Applicant"), filed an Application and submitted plans on April 23, 2018 for the landscape plan, grading and improvement plan, utility plan, ALTA survey, window and door schedule plan, and hardware plan, April 25, 2018 for the floor plan, trash details, roof plan, and building elevation, and May 23, 2018 for the site plan for Conditional Use Permit Case No. CU 18-02 and Development Review Case No. DR 2-18-8742 to allow construction of a new 3,878-square foot, drive-through restaurant on parcels of less than 1.5 acres, and Sign Permit Case No. SP 18-01 to: (1) construct a double-face, 75-foot tall freestanding freeway identification sign that exceeds the maximum allowable height of 25 feet, and (2) allow for one of the freestanding signs to be located along Beverly Street, which has a street frontage of less than 150 feet, within the Design for Development for the South Bellflower Commercial Area (DFD) on property located at 17325 Bellflower Boulevard.
- B. The Application was reviewed by the City's Department of Planning and Building Services for, in part, consistency with the General Plan and conformity with the Bellflower Municipal Code ("BMC");
- C. Notice of Public Hearing before the Planning Commission was duly given and published in the time, form, and manner as required by law;
- D. In addition, the City reviewed the project's environmental impacts under the California Environmental Quality Act (Public Resources Code §§ 21000, *et seq.*, "CEQA"), the regulations promulgated thereunder (14 Cal. Code of Regulations §§15000, *et seq.*, the "CEQA Guidelines"), and the City's Environmental Guidelines ("Bellflower Guidelines"; CEQA, CEQA Guidelines and Bellflower Guidelines collectively referred to as "CEQA Regulations");

- E. On March 8, 2018 a development review was completed for the Project;
- F. The Department of Planning and Building Services completed its review and scheduled a public hearing regarding the Application before this Planning Commission for June 4, 2018; and
- G. The Planning Commission considered the information provided by City Staff, public testimony, and the Applicant. This Resolution, and its findings, are made based upon the evidence presented to the Planning Commission at its June 4, 2018 hearing.

**SECTION 2:** *Factual Findings and Conclusions.* The Planning Commission finds as follows:

- A. The Applicant seeks a Conditional Use Permit to establish a new drive-through restaurant and a Sign Permit for a freestanding freeway identification sign at 17325 Bellflower Boulevard ("Project Site");
- B. The Project Site is located within the Design for Development for the South Bellflower Commercial Area (DFD), with a General Plan – Land Use Designation of "C" (Commercial);
- C. The Project Site is accessible from Bellflower Boulevard, a 80'-0" wide right-of-way secondary arterial street; and Artesia Boulevard, a 100'-0" wide right-of-way arterial street;
- D. The Project Site is bounded to the north by the 91 Freeway off-ramp; to the south by a mixed-use development, an auto body shop and shopping center; to the east by a restaurant; and to the west by four residential units and Motel; and
- E. The Project Site is approximately 63,508 square feet (1.45 acres) in area and is currently comprised of four parcels, one of which has a vacant building that will be demolished.

**SECTION 3:** *Environmental Assessment.* Pursuant to the authority and criteria of the California Environmental Quality Act (CEQA), an environmental assessment has been conducted for this project. This project has been determined to be Categorical Exempt (Class 3, § 15303) from the provisions of CEQA (New Construction or Conversion of Small Structures) because the project involves the construction of a new drive-through restaurant structure not exceeding 10,000 square feet in floor area and a freestanding sign, in an urbanized area and on a site zoned for such use. The project does not involve the use of significant amounts of hazardous substances and is located where all necessary public services and facilities are available, and the surrounding area is not environmentally sensitive.

**SECTION 4:** *Notice of Exemption.* The Director of Planning and Building Services, or designee, is directed to file a Notice of Exemption in accordance with CEQA §§ 15062; and any other applicable law.

**SECTION 5:** *DFD Objectives and Conclusions.* The Planning Commission finds the following facts exist:

- A. The DFD desires to encourage development concepts that will create a land use strategy that promotes intense freeway and highway-oriented commercial retail development; this is accomplished because the proposed development is adjacent to the 91 freeway to the north;
- B. The DFD desires to encourage development concepts that will provide for regional, local, and neighborhood access to and from the DFD Area, without negatively impacting the community character of Bellflower; this is accomplished because the subject site is accessible from the 91 freeway to the north, Bellflower Boulevard to the east, and Artesia Boulevard to the south. Furthermore, the Beverly Street access will be closed off to not impact the adjacent residential neighborhood;
- C. The DFD desires to encourage development concepts that will maintain and promote quality architectural and site planning principles in the development of the DFD Area; this is accomplished because the proposal includes a new structure with four-sided architecture features, including building materials such as: stucco, cornices, s-tile roofing material, faux and real columns, and canopies. Furthermore, the site design exceeds parking and landscaping requirements, and incorporates unique landscape design, decorative concrete stamping on the driveway, and pedestrian access from Artesia Boulevard; and
- D. The DFD desires to encourage development concepts that will ensure that vehicular access to and from the DFD Area is designed in a manner that is efficient, safe, and can accommodate future growth and access demand; this is accomplished because the site is designed with efficient and safe vehicular access off Bellflower Boulevard and Artesia Boulevard. Due to the size of the lot and surplus parking, the site is large enough to accommodate future growth and access demand.

**SECTION 6:** *Conditional Use Permit Findings and Conclusions.* The Planning Commission finds the following facts exist:

- A. *That the use applied for at the location set forth in the application is properly one for which a Conditional Use Permit is authorized by Title 17 of the Bellflower Municipal Code.*

The proposed drive-through restaurant and development on parcels of less than 1.5 acres are conditionally permitted uses within the DFD zone.

- B. *That the said use is necessary or desirable for the development of the community, is in harmony with the various elements or objectives of the Master Plan and is not detrimental to existing uses or to uses specifically permitted in the district in which the site is located.*



*The proposed project is consistent with the following goals and policies of the General Plan – Land Use Element and Circulation Element: Land Use General Goal 2 (Create a City that functions efficiently, is aesthetically pleasing, and makes the best use of its various resources); Land Use Policy 2.1 (Create opportunities wherein a population diverse in terms of income, age, occupation, race, lifestyle, values, interest, and religion may interact, exchange ideas, and realize common goals); Land Use General Policy 2.2, (Provide commercial facilities to meet the retail and service needs of the community); Land Use General Policy 2.3 (Promote Artesia Boulevard as a major commercial corridor); Land Use General Policy 2.8 (Encourage rehabilitation or redevelopment of designated commercial and industrial areas); Land Use General Policy 2.12 (Develop strong themes identifying Bellflower as a city of visual and community quality); Land Use Commercial, Policy 1.3 (Provide lot consolidation incentives for commercial parcels in order to create large, viable, commercial properties); and Circulation Policy 5.1 (Require new development projects to provide parking facilities consistent with zoning code requirements and ensure adequate off-street parking requirements in the zoning code).*

- C. *That the site for the intended use is adequate in size and shape to accommodate said use, and for all the yards, setbacks, walls or fences, landscaping, and other features that may be required in order to adjust said use to those existing or possible future uses of land in the neighborhood.*

The 63,508-square foot (1.45 acres) subject site is proposed to be developed with a new 3,878-square foot drive-through restaurant building. The development has been evaluated for consistency with existing regulations and determined that it complies with all the DFD development standards relative to, shape, yards, setbacks, and walls except for the lot size. The lot size, although less than 1.5 acres as required per the DFD, is short 1,832 square feet because of a street widening project along Bellflower Boulevard to alleviate traffic congestion and benefit the public's safety and general welfare. Prior to the street widening project the total lot size was compliant at 67,328 square feet (or 1.54 acres). Per the DFD, the subject development encourages access of automobile traffic from the 91 Freeway and from the adjoining streets of Bellflower Boulevard, and Artesia Boulevard. As proposed, the development is automobile-oriented and regionally attractive. The lot can accommodate the proposed development, because the building design is placed near the corner of Artesia and Bellflower Boulevard allowing for future growth on the interior of the lot; the site allows for setbacks of 10 feet or more from all surrounding streets and neighboring properties. Per the traffic impact analysis prepared the proposed project is not expected to create significant impacts because the on-site drive-through lane has sufficient queuing storage capacity. The lot provides a surplus of 52 parking spaces for current and future growth. Surplus landscaping within the parking lot is provided since the site requires 2,383 square feet and provides 5,502 square feet. Lastly, the site includes existing and proposed walls and fences along the north and west property line; the westerly wall separates the commercial use from adjacent residential uses.

- D. *That the site for the proposed use relates to streets and highways properly designed and improved so as to carry the type and quantity of traffic generated or to be generated by the proposed use.*

A traffic impact analysis was prepared for the project which concluded the following: that the proposed project is not expected to create significant impacts at any of the study intersections; based on the established thresholds, Bellflower Boulevard and the SR-91 Ramps are forecasted to operate at an acceptable Level of Service (LOS). In addition, the City Engineer and the study recommended right-in and right-out turns on all driveway locations to address traffic impacts and left-in turns only along open median along Artesia. The City Engineer determined that the conclusions and recommendations were accurate and that the streets and highways are sufficient to carry the type and quantity of traffic generated by the proposed use.

**SECTION 7.** *Development Review Findings.* The Planning Commission finds as follows:

- A. *That the proposal is consistent with the Bellflower General Plan and the Zoning Code.*

The proposed project is consistent with the following Goals and Policies of the Bellflower General Plan – Land Use Element: General Policy 2.2 (Provide commercial facilities to meet the retail service needs of the community); and General Policy 2.8 (Encourage rehabilitation or redevelopment of designated commercial and industrial areas).

The subject property will be improved with uses consistent with the goals and policies of the General Plan, including but not limited to: General Goal 1 (Discourage disjoint land use patterns), General Goal 2 (Create a City that functions efficiently, is aesthetically pleasing, and makes the best use of its various resources); General Policy 1.2 (Encourage opportunities to sensitively integrate different, but compatible, land uses); General Policy 2.1 (Create opportunities wherein a population diverse in terms of income, age, occupation, race, lifestyle, values, interest, and religion may interact, exchange ideas, and realize common goals); General Policy 2.2 (Provide commercial facilities to meet the retail and service needs of the community); and General Policy 2.7 (Carefully scrutinize plans for developments which will have a significant impact on the city or on surrounding developments to ensure the highest quality design).

- B. *That the design of the proposal is appropriate to the City, the neighborhood, and lot on which it is proposed.*

That the proposed project is compatible with the surrounding neighborhood and adjacent properties in that there are commercial developments at each intersection of Artesia Boulevard and Bellflower Boulevard. In addition, the commercial building design is modern and similar in height and style with the

existing commercial building to the east of the subject site. Furthermore, the building design is functional, but is also unique, pleasant and visually interesting because of the wall articulations, consistent four-sided architecture, blends of pitched and flat roof styles, thick decorative trims on the roof line and decorative drive-through roof covers.

- C. *That the design of the proposal is compatible with its environment with respect to use, forms, materials, colors, setbacks, location, height, design, or similar qualities as specified in Section 17.80.010.*

The proposed design is compatible with its environment with respect to use, forms, materials, colors, setbacks, location, height, design, and similar qualities. The project will redevelop a site and by replacing the existing vacant building with a new drive-through restaurant that incorporates a four-sided modern architecture, containing superior architectural elements and materials (wood, stone, metal, tile roof and stucco). Furthermore, the project is subject to conditions of approvals, such as providing new perimeter walls, lighting, sufficient pedestrian and vehicles access, and decorative paving. Those features are compatible with surrounding commercial developments, and accomplishes the Goals and Policies of the General Plan — Land Use Element, and the Bellflower Municipal Code (BMC).

**SECTION 8:** *Sign Permit Findings.* The Planning Commission finds the following facts exist:

- A. *Sign is compatible with area*, in that the sign will be compatible in height with an existing freeway-oriented sign located to the east of the property;
- B. *Sign is not detrimental to adjacent property* in that the proposed sign will not create any glare or significant light source impacting the surrounding properties because the project is conditioned to provided 0-foot candle at all property lines and will be at least 65 feet from the nearest property;
- C. *Sign is in keeping with the purpose and intent of the Zoning Ordinance* in that the proposed sign is a freeway identification sign/pylon sign structure that is intended to provide freeway-oriented store identification for the commercial activity that is located on the property on which the freeway identification sign is located; and
- D. *Sign complies with the General Plan* because it meets the following goals of the Land Use Element: General Goal 2.3 (Promote Artesia Boulevard as a major commercial corridor); and General Goal 2.12 (Develop strong themes identifying Bellflower as a city of visual and community quality).

**SECTION 9:** *Approval.* Subject to the conditions set forth in the attached "Exhibit A," which are incorporated by reference, the Planning Commission approves Conditional Use Permit Case No. 18-02, Development Review Case No. DR 2-18-8742 and Sign Permit Case No. SP 18-01.

**SECTION 10:** *Construction.* This Resolution must be broadly construed in order to achieve the purposes stated in this Resolution. It is the Planning Commission's intent that the provisions of this Resolution be interpreted or implemented by the City and others in a manner that facilitates the purposes set forth in this Resolution.

**SECTION 11:** *Reliance On Record.* Each and every one of the findings and determinations in this Resolution are based on the competent and substantial evidence, both oral and written, contained in the entire record relating to the project. The findings and determinations constitute the independent findings and determinations of the Planning Commission in all respects and are fully and completely supported by substantial evidence in the record as a whole.

**SECTION 12:** *Limitations.* The Planning Commission's analysis and evaluation of the project is based on the best information currently available. It is inevitable that in evaluating a project that absolute and perfect knowledge of all possible aspects of the project will not exist. One of the major limitations on analysis of the project is the Planning Commission's lack of knowledge of future events. In all instances, best efforts have been made to form accurate assumptions. Somewhat related to this are the limitations on the City's ability to solve what are in effect regional, state, and national problems and issues. The City must work within the political framework within which it exists and with the limitations inherent in that framework.

**SECTION 13:** *Severability.* If any part of this Resolution or its application is deemed invalid by a court of competent jurisdiction, the Planning Commission intends that such invalidity will not affect the effectiveness of the remaining provision or application and, to this end, the provisions of this Resolution are severable.

**SECTION 14:** This Resolution will remain effective until superseded by a subsequent resolution.

**SECTION 15:** This Resolution is the Planning Commission's final decision and will become effective immediately upon adoption, and will remain effective unless the action is appealed within 10 days pursuant to BMC § 17.96 and 17.112.

**SECTION 16:** The Planning Commission Secretary is directed to mail a copy of this Resolution to the Applicant and to any other person requesting a copy.

**SECTION 17:** The Planning Commission Chairman, or presiding officer, is hereby authorized to affix his signature to this Resolution signifying its adoption by the Planning Commission of the City of Bellflower, and the Planning Commission Secretary is directed to attest thereto.

**PASSED, APPROVED, AND ADOPTED BY THE PLANNING COMMISSION  
OF THE CITY OF BELLFLOWER THIS 4<sup>th</sup> DAY OF JUNE 2018.**

---

**John B. Nowlin, Chairman**

**Attest:**

---

**Rowena Genilo-Concepcion, Interim Secretary**

**Approved as to form:**

---

**David King, Assistant City Attorney**

**Attachment:**

**Exhibit A - Conditions of Approval**

**RESOLUTION NO. 18-05 - "EXHIBIT A"**  
**CONDITIONS OF APPROVAL FOR**  
**CONDITIONAL USE PERMIT CASE NO. CU 18-02**

In addition to all applicable provisions of the Bellflower Municipal Code ("BMC"), Michelle Bennett, on behalf of In-N-Out Burger Inc. (the "Applicant"), agrees that it will comply with the following provisions as conditions for the City of Bellflower's approval of Conditional Use Permit Case No. CU 18-02, Development Review Case No. DR 2-18-8742, and Sign Permit Case No. SP 18-01 ("Project Conditions").

Unless the contrary is stated or clearly appears from the context, the construction of words and phrases used in these Project Conditions use the definitions set forth in the BMC.

Standard Conditions of Approval

1. The project site must be developed and/or used in the manner requested and must be in substantial conformity with the submitted plans date-stamped April 23, 2018 for the landscape plan, grading and improvement plan, utility plan, ALTA survey, window and door schedule plan, and hardware plan, April 25, 2018 for the floor plan, trash details, roof plan, and building elevation, and May 23, 2018 for the site plan unless revisions and/or additional conditions are specifically required herein.
2. This approval runs with the land. All rights and obligations of this approval, including the responsibility to comply with these Conditions of Approval, are binding upon Applicant's successors in interest. These Conditions of Approval may be modified, terminated, or abandoned in accordance with applicable law including, without limitation, the Bellflower Municipal Code (BMC).
3. Any proposed deviations from the exhibits, Project description or Project Conditions must be submitted to the Director for review and approval. Any unapproved deviations from the Project approval will constitute a violation of the permit approval.
4. When exhibits and/or written Project Conditions are in conflict, the written Project Conditions prevail.
5. The effectiveness of this Project will be suspended for the time period that any Project Condition is appealed whether administratively or as part of a legal action filed in a court of competent jurisdiction. If any Project Condition is invalidated by a court of law, the Project must be reviewed by the City and substitute conditions may be imposed.
6. The Permittee is responsible for ascertaining and paying all City Development fees, including without limitation, public facilities fees, parkland fees, and public art fees as required by the Bellflower Municipal Code (BMC). In addition, the impact fees established by the Consolidated Fire Protection District of Los Angeles County and Bellflower Unified School District must also be paid in accordance with the requirements of those entities. This condition also serves as

**City of Bellflower**  
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notice pursuant to Government Code § 66020(d) that the City of Bellflower is imposing development impact fees ("DIFs").

7. The Applicant agrees to indemnify and hold the City harmless from and against any claim, action, damages, costs (including, without limitation, attorney's fees), injuries, or liability, arising from the City's approval of CU 18-02, DR 2-18-8742, and SP 18-01 except for such loss or damage arising from the City's sole negligence or willful misconduct. Should the City be named in any suit, or should any claim be brought against it by suit or otherwise, whether the same be groundless or not, arising out of the City's approval of CU 18-02, DR 2-18-8742, and SP 18-01, the Applicant agrees to defend the City (at the City's request and with counsel satisfactory to the City) and will indemnify the City for any judgment rendered against it or any sums paid out in settlement or otherwise. For purposes of this section "the City" includes the City of Bellflower's elected officials, appointed officials, officers, and employees.
8. The Applicant must comply with all requirements of this Resolution, the applicable Zone, the BMC, rules and regulations and applicable law, policies and regulations of any State, Federal or local agency with jurisdiction thereof..
9. The Applicant must sign these Conditions of Approval, as set forth below, to acknowledge acceptance within 30 days from the date of approval by the Planning Commission.
10. The City will only issue permits for development, including grading, when the construction documents (e.g., grading plans and building plans) substantially comply with the approved plans. The size, shape arrangement, use and location of buildings, walkways, parking areas, drainage facilities, and landscaped areas must be developed in substantial conformity with the approved plans. Substantial conformity may be determined by the Director.
11. This decision is not effective until Applicant acknowledges acceptance of all conditions and any appeal period has lapsed, or a waiver of right to appeal is filed or if there is an appeal, until a final decision has been made on the appeal. By use of the entitlements granted by a development application, the Applicant acknowledges agreement with conditions of approval.
12. Anything which is not shown on the application/plans, or which is not specifically approved, or which is not in compliance with this section, is not approved. Any application and/or plans which are defective as to, but not limited to, omission, dimensions, scale, use, colors, materials, encroachments, easements, etc., will render any entitlements granted by this section null and void. Construction (if any) must cease until all requirements of this section are complied with. Development entitlements may be withheld until violations of the BMC are abated.

13. The Applicant must provide a sheet on the construction plans with the City of Bellflower signed resolution stating the conditions of approval as adopted by the Planning Commission. This information must be incorporated into the plans before the City issues a building permit.
14. The Applicant must comply with all Conditions of Approval before the City issues a certificate of occupancy.

**Specific Conditions of Approval**

**Planning**

15. The landscape plan must be revised to identify the freestanding sign and monument sign.
16. The landscape plan must comply with State Model Water Efficient Landscape Ordinance (MWELO).
17. Revise the site to include wheel stops for the eight parking spaces adjacent to the trash enclosure.
18. The site plan must be revised to include the location of the short term bike racks. The bike racks must be decorative.
19. Delivery hours must be from 1:00 a.m. to 9:00 a.m. on the weekday and 1:30 a.m. to 9:00 a.m. on the weekend.
20. The driveway along Bellflower Boulevard must meet the distance requirement from the 91 freeway off-ramp, as established by Caltrans.
21. The Applicant must comply with all Metro requirements for the existing bus stop along Artesia Boulevard.
22. The Applicant must provide at least one experienced and certified Native American monitor on-site during all ground disturbance construction activity (i.e. grading).
23. No flashing, blinking, or animated lights will be permitted for the proposed signs.
24. Submit a master sign plan for review for all proposed signs on the site (i.e. freestanding/pylon sign, wall signs, identification signs, parking lot signs, directional sign, etc.).



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25. The final design of the City logo on the monument sign must be approved by the Director of Planning and Building Services or designee. The monument sign must not block line-of-sight along Bellflower Boulevard and Artesia Boulevard.
26. A Lot Line Adjustment or applicable, must be completed in order to include and consolidate the remaining parcels (APNs: 7161-003-900, 7161-003-035, 7161-003-026, and 7161-003-027).
27. Drive-through queue storage area located on the northwest portion of the site, as shown on the page 2 of the Traffic Impact Analysis, must be delineated (i.e. pavement marking) and appropriate signage must be provided informing customers the use of this area.
28. Provide an updated Traffic Impact Analysis to reflect the current project plans with regard to the following: **a)** number of parking spaces near the entrance of the building; **b)** the number of parking spaces changed from 69 to 68 spaces due to a new loading space, **c)** Landscaping layout is slightly different around the trash enclosure and other areas; **d)** the inside and outside dining area seating numbers have decreased from 84 to 82 indoor seats and from 44 to 32 outside seats and **e)** the outdoor dining location has changed.
29. All site plan drawings (i.e. landscape, photo metrics, grading, etc.) must be revised to match with most recent site plan date-stamped May 23, 2018.
30. Before the City issues a building permit for the Project, the property owner must submit a signed letter relinquishing the following past entitlements: Variance Case No. BV-193 and acknowledging that Resolution No. 624 is no longer in effect; CUP Case No. CU-194 and acknowledging that Resolution No. 616 is no longer in effect; CUP Case No. CU-206 and acknowledging that Resolution No. 638 is no longer in effect; and CUP Case No. CU-243 and acknowledging that Resolution No. 727 is no longer in effect.
31. Provide an updated title report with current property owner information.
32. Revise the photometric plan to illustrate a zero-foot candle light at all property lines.
33. The Applicant must obtain neighbor's consent and approval in writing before conducting any work (i.e., demolition and construction) of buildings, walls on, partially or entirely located on any of the adjacent properties. If any construction requires encroachment onto adjacent properties, a Right-of-Entry letter signed and dated by the affected property owners must be submitted to the City Building and Safety Division before the issuance of building permits.

**Traffic Impact Analysis**

34. The driveways along Bellflower Boulevard and Artesia Boulevard must be right-turn in and right-turn out only.
35. If the center median on Artesia Boulevard will be redesigned to allow for vehicles to access the proposed driveway along Artesia Boulevard, then the median must be left-turns only. The vehicle storage length for the median must be 100 feet with a 90-foot taper.

**Environmental**

36. Per the Phase I Environment Site Assessment Update dated December 4, 2017, a Soil Management Plan must be implemented during redevelopment of the site.
37. Per the Phase I Environment Site Assessment Update dated December 4, 2017, an asbestos survey must be completed prior to any building demolition. If such materials are identified, a licensed abatement contractor should be consulted.

**Building and Safety**

38. Provide four sets of complete plans and two sets of supporting documents at plan check submittal. Additional comments may occur during the plan check review process.
39. Commercial projects must be designed by a California Licensed Designed Professional. Plan must be stamped and signed by the California Licensed Designed Professional

**Storm Water**

40. The project must comply with the following water quality conditions of approval dated February 23, 2018:
  - a. **Prior to grading permit**, the Applicant must comply with the National Pollution Discharge Elimination System (NPDES) permit from the California Regional Water Quality Control Board.
  - b. **Prior to grading permit**, the Applicant must file any required documents, including but not necessarily limited to the notice of intent, and comply with permits from the California Regional Water Quality Control Board.
  - c. **Prior to grading permit**, the Applicant must furnish the project's LID Plan for review and approval to the satisfaction of the City Planner and/or the City Engineer. The LID Plan will be required to implement post-construction treatment controls as identified in the MS4 PERMIT, Los Angeles RWQCB Order No. R4-2012-0175-Planning and Land Development Program (page 94). The design treatment volume must be

calculated in accordance with the MS4 Permit and LA County Hydrology Manual Appendix A procedures to the satisfaction and approval of the City Engineer. The calculations must be performed by a licensed Civil Engineer in the State of California. Structural treatment controls must be designed to meet CASQA design requirements at a minimum (<http://www.cabmphandbooks.com> for New Development/Redevelopment).

- d. **Prior to grading permit:** the project must demonstrate to the satisfaction of the City Engineer and/or the City Planner that the MS4 Permit requirements are met and shown on the project plans.
- e. **Prior to grading permit: Treatment of Pollutants-** The Applicant must demonstrate to the satisfaction of the City Planner and/or City Engineer that the selected Structural Treatment Controls adequately treat pollutants of concern for the expected project pollutants to a medium or high removal efficiency and for the currently approved Lower San Gabriel River Reach 1 and Los Cerritos Channel 303(d) listed pollutants. The Applicant must include in the LID report all calculations and treatment control manufacturer information, if applicable, to demonstrate the pollutant removal efficiency for the project pollutants and 303(d) listed pollutants (<http://www.swrcb.ca.gov>).
- f. **Prior to grading permit: Maintenance Agreement-** A maintenance agreement must be reviewed and approved to the satisfaction of the City Planner and/or City Engineer. The Maintenance agreement must be submitted in accordance with the requirements of Order No. R4-2012-0175, Page 111. The Maintenance Agreement must be signed and notarized by the owner, City Manager and City Attorney and recorded with the LA County Recorder.
- g. **Prior to grading permit: Project Plan Requirements-** The Applicant must include on the project plans to the satisfaction of the City Engineer the following information:
  - i. Grading Plan Title Sheet: Indicate the project is subject to LID requirements with the Following text: "LID PROJECT".
  - ii. Maintenance requirements must be listed for all structural treatment controls.
  - iii. All constructed LID requirements must be clearly identified as such in the project plans and in the LID Report including maintenance operations and maintenance responsibility.
- h. **Prior to grading permit: Construction Requirements-** The Applicant must sign the owner's certification form and embed this document in the project plans to the satisfaction of the City Planner or City Engineer.
- i. **Prior to grading permit: Low Impact Development (LID) -** The project must incorporate structural LID practices for the site in consideration of the site's land use, hydrology, soil type, climate and rainfall patterns.
- j. **Prior to grading permit: Trash Enclosures –** Trash enclosures must meet storm water quality standards. They must be designed to have a

solid impermeable roof and concrete slab floor. The roof must have a minimum clearance height of at least 9 feet to allow the bin lid to completely open. The concrete slab must be graded to contain any spill within the enclosure. The enclosure area must be protected from receiving direct rainfall or run-on from collateral surfaces. Rainwater or wastewater runoff from trash enclosure is prohibited. An alternate drain from the interior of the enclosure that discharges to the sanitary sewer may be constructed if approved by sewer district.

- k. **Prior to grading permit**, the Applicant must submit a Storm Water Pollution Prevention Plan (SWPPP) for sites 1 acre or greater, for the review and acceptance by the City Engineer. The SWPPP must describe the construction phase Best Management Practices (BMPs) to ensure compliance with the NPDES General Permit for storm water discharges associated with construction activity.

#### **City Engineer/ Traffic Engineering**

41. The site plan must show the location and dimensions of all existing and proposed drive approaches.
42. The site plan must be revised accordingly to note prior and new right-of-way.
43. The site plan must show all existing right-of-way improvements.
44. Landscape and hardscape improvements located adjacent to driveways, parking lot drive aisles and within the limited use areas identified in the traffic impact analysis must not exceed 42" in height as measured from the paved driveway surface to ensure safe vehicular sight distance.
45. The site plan must provide driveway dimensions at all angle points and any proposed radii. Dimensions and curb radii must also be shown for the proposed drive-through.
46. The site plan must dimension the parking spaces, disabled loading zones, parking lot drive aisles, sidewalks and pedestrian paths.
47. Specific recommendations relative to development of the site, as outlined in the Traffic Impact Analysis dated March 28, 2018, must be incorporated into the final construction documents.
48. All drive approaches must be designated right-turn in and right-turn out only.
49. The site plan must show the designated disabled access path from the public right-of-way.

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50. The site plan must show and dimension the on-site loading zone.
51. The site plan must show and dimension all property lines and any internal lot lines.
52. The site plan must show and dimension all easements.
53. A preliminary soils report prepared by a licensed civil or geotechnical engineer is required and must include an assessment of liquefaction potential.
54. Prior to the approval of any development plans, the Applicant is required to contact Los Angeles County Fire Department, Engineering Division, to obtain the fire flow and access requirements for any proposed development.
55. The Applicant must contact the local Water Company to determine the existing fire flow rate in this area. If the existing fire flow capabilities are below the required minimum, the Applicant must provide the necessary means for meeting the fire flow rates required by the Fire Department.
56. A grading plan prepared by a California licensed civil engineer is required. The bench mark and basis of bearings must be consistent with the bench mark and basis of bearings used for the widening of Bellflower Boulevard and previously provided to the Applicant. The minimum slope on concrete flow lines must be 0.50%. Minimum slope on asphalt concrete or turf must be 1.0%. Existing elevations of adjacent property and street flow lines must be shown around the perimeter of the proposed development. All applicable NPDES requirements established by the City of Bellflower storm water consultant must be complied with including the preparation of a Standard Urban Stormwater Mitigation Plan (SUSMP).
57. Roof drains associated with the proposed trash enclosure must connect to the storm drain system as proposed in the project plan submittal.
58. Any proposed landscaping in the public right-of-way must be installed per the City of Bellflower Master Street Tree Plan.
59. Provide a revised American Land Title Association (ALTA) survey that reflects the current conditions, following a lot line adjustment that was recorded Nov. 8, 2017.
60. The site plan must show and dimension all existing and proposed perimeter walls/fences.
61. The three (3) existing driveway aprons located along Artesia Boulevard must be addressed as follows:

- a. The westerly most driveway apron must be removed and reconstructed per current City of Bellflower Standards (Standard Plan BSP-02 – Commercial).
  - b. The middle and easterly driveway aprons must be removed and the sidewalk, curb and gutter reconstructed full parkway width.
62. A fourth driveway apron located at the northwest corner of the site, fronting Beverly Street, must be removed and the sidewalk, curb and gutter reconstructed full parkway width.
63. Curb and gutter must be removed and reconstructed corresponding to the reconstructed driveway apron. Curb and gutter corresponding to the three (3) abandoned driveway aprons must be removed and reconstructed in accordance with City of Bellflower standards. Note: Curb and gutter must be monolithic.
64. An on-site sanitary sewer lateral must be constructed to service the property. The minimum lateral size from main to property line is 6". Excavation permits with necessary insurance and bonds are required.
65. For any new sewer connections please contact the Los Angeles County Sanitation District and obtain any connection permits. Documentation of said permits must be submitted to the Building Official prior to the issuance of any building permits. Provide documentation from the District that sufficient sewer capacity is provided.
66. A City of Bellflower Sewer Reconstruction fee in the amount of \$12,096.00 must be paid to the City of Bellflower.
67. The contractor must meet with the City Public Works Inspector before starting any construction within the public right-of-way.
68. The developer, at his/her cost, is responsible for the relocation as necessary of any public or private utility or other obstruction to facilitate the construction within the public right-of-way.

By signing this document, Michelle Bennette, representing In-N-Out Burger Inc (Applicant) certifies that he/she has read, understood, and agrees to the project conditions listed in this document.

---

Michelle Bennett, representing In-N-Out Burger Inc (Applicant)

{If Corporation or similar entity, need two officer signatures or evidence that one

**City of Bellflower**  
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signature binds the company}

By signing this document, Brad Becker, dba Bellflower 111 Partners, LLC (Property Owner) certifies that he/she has read, understood, and agrees to the project conditions listed in this document.

---

Brad Becker, dba Bellflower 111 Partners, LLC (Property Owner)

{If Corporation or similar entity, need two officer signatures or evidence that one signature binds the company}

**Attachment B**  
Project Process and Timeline



**17325 BELLFLOWER BOULEVARD (CU 18-05, DR 2-18-8742 and SP 18-01)**

Table 1.0 (Process and Timeline)

<b>Timeline (Application)</b>				
<b>Event</b>	<b>Meeting/Submittal</b>	<b>Applicant Response Time</b>	<b>City Response Time</b>	<b>Lapse Time</b>
CUP & DR Submittal	02-08-18	-	-	0 days
DR Letter Sent	03-08-17	-	29 days	29 days
CUP Submittal	04-23-18	46 days	-	75 days
Planning Commission Meeting	06-04-18	-	42 days	117 days
			<b>Total Lapse Time</b>	<b>117 Days (3.8 Months)</b>

Table 2.0 (Compliance Table based on C-G and DFD Development Standards)

	<b>Development Criteria</b>	<b>Required/Allowed</b>	<b>Proposed</b>	<b>Complies</b>
	Lot Size	1.5 acres (65,340 square feet)	63,508-square feet (1.45 acres)	No*
	Setbacks			
	Front	10 feet (along Artesia, Bellflower, and Beverly)	10 feet on Bellflower	Yes
	Side	0 or 3 feet	37 feet on Artesia	Yes
	Rear	0 or 3 feet	160 feet from Beverly	Yes
	No. of Parking Spaces	1 parking space for each three hundred (300) square feet of floor space or fraction thereof in any building or structure.  3,878 SF/300 =12.91 (Building)  860 SF/300 =2.86 (Outside Dining)  Total parking spaces required = 16	68 parking spaces	Yes
	Parking Stall Sizes	9 feet wide by 20 feet in length.	9 X 20	Yes
	Loading	One Space	One Space	Yes
	Landscaping	five percent of the parking area = 2,383 SF required  minimum 10-foot wide landscaped planter located adjacent to all rights-of-way.  A minimum of 1, 48-inch box tree for each 1,000 square feet of floor area =	5,502 SF  10 feet or more  12	Yes  Yes  Yes

	Development Criteria	Required/Allowed	Proposed	Complies
		<p>four required</p> <p>5, 5 gallon plants for each 1,000 square feet of floor area = 20 required</p> <p>landscaping must include amenities and treatment that provide for an interesting and quality visual experience as viewed from the public street</p>	<p>472</p> <p>Signature "X" palm trees, accented dry stream beds and small boulders along street frontages.</p>	<p>Yes</p> <p>Yes</p>
	Fencing	<p>A masonry or concrete wall not less than six feet high shall be constructed and maintained</p> <p>No wall shall exceed 42 inches in height where it is in the front yard area of an abutting residential use or district.</p>	<p>6 feet tall block wall</p> <p>42 inches tall</p>	<p>Yes</p> <p>Yes</p>
	Driveway Widths	<p>10 feet wide for single lanes</p> <p>20 feet wide for double lanes</p>	<p>11 feet wide for drive-through</p> <p>25 feet to of 38.42 feet wide</p>	<p>Yes</p> <p>Yes</p>
	Lighting	<p>All outdoor lighting shall be located and shielded so as to prevent the spill of light onto adjacent lots and streets.</p>	<p>Photometric plan provides more than 0-foot candle around property line.</p>	<p>No**</p>
	Mechanical Equipment	<p>All ground-mounted mechanical equipment shall be completely screened behind a permanent structure and all rooftop mechanical equipment shall be screened from view from the ground surface from a distance of 100 feet. Screening methods shall be architecturally compatible with the main building</p>	<p>Located on the roof behind parapet.</p>	<p>Yes</p>
	Trash Enclosure	<p>The trash area enclosed by a five (5) foot high solid masonry, brick or concrete wall with solid decorative gates of the same height. Trash area enclosures shall incorporate an architecturally consistent trellis cover. All trash enclosures shall meet applicable Fire Code provisions, including, but not limited to fire-rated construction, and where deemed appropriate by the Building Official, shall incorporate the use of an</p>	<p>8 foot tall with 2'-9" tall high decorative cover.</p> <p>Fire Code compliance and approved by Building Official.</p>	<p>Yes</p> <p>No**</p>

	Development Criteria	Required/Allowed	Proposed	Complies
		overhead sprinkler system.		
	Architecture	Promote a building design that is functional, but is also unique, pleasant and visually memorable. Building architecture must utilize consistent themes that do not conflict in design technique and application. Building designs that mix architectural styles are prohibited. Extensive, boring, plain wall stretches of wall surfaces are also prohibited.	The architectural & design has modern Spanish style features and In-N-Out signature features.	Yes
	Signage	25 feet above grade level if the sign is a freestanding or ground sign.  1 freestanding sign per separate street frontage of 150 feet or greater per parcel of land shall be permitted.	75 feet tall  65 feet street frontage along Beverly Street	No***  No***

\* CUP request

\*\* Code requirement

\*\*\* Sign Permit request

**Attachment C**  
DR Letter

The City of Bellflower

*Families. Businesses. Futures.*

16600 Civic Center Drive, Bellflower, CA 90706

Tel 562.804.1424 Fax 562.925.8660 www.bellflower.org



March 8, 2018

In-N-Out

Attention: Michelle Bennett  
13502 Hamburger Lane  
Baldwin Park, CA 91706

**Re: Development Review (DR) Case No. 2-18-8742 – Request to construct a new drive-through in conjunction with the construction of a new 3,878 square foot building for a restaurant use on an approximate 67,398 square foot lot, within the DFD zone on property located at 17325 Bellflower Boulevard.**

Dear Mrs. Bennett:

Thank you for submitting your Development Review application, plans, other documents and processing fees on February 8, 2018, regarding the construction of a new drive-through in conjunction with the construction of a new 3,878 square foot building for a restaurant use on an approximate 67,398 square foot lot, within the DFD zone on property located at 17325 Bellflower Boulevard.

After review of your DR submittal, the proposed project has been approved, pending acceptance of all the conditions (enclosed: Comments from Planning Division, Building and Safety Division, Public Works Department, Traffic Engineering, City Engineering, Fire Department, and Stormwater Consultant). Your next step is to revise the plans and then submit 15 sets of plans and other requested documentation for Planning Commission review. The approval of the proposed project is based on the following findings, pursuant to BMC Subsection 17.80.040:

1. *That the proposal is consistent with the Bellflower General Plan and the Zoning Code.*

The proposed project is consistent with the following Goals and Policies of the Bellflower General Plan – Land Use Element: General Goal 2, Policy 2.2 which states the City should "provide commercial facilities to meet the retail service needs of the community;" and General Goal 2, Policy 2.8 which states the City should "encourage rehabilitation or redevelopment of designated commercial and industrial areas."

> Ron Schnablegger  
Mayor

Ray Dunton  
Mayor Pro Tem

Juan Garza  
Council Member

Dan Koops  
Council Member

Sonny R. Santa Ines  
Council Member

The subject property will be improved with uses consistent with the goals and policies of the General Plan, including but not limited to: Goal 1 (Discourage disjoint land use patterns), Goal 2 (Create a City that functions efficiently, is aesthetically pleasing, and makes the best use of its various resources); Goal 5 (Provide incentives for reinvestment in aging, built-out developments and encourage consolidation of properties for higher quality land uses and designs); Policy 1.1 (Provide land use designations which match actual viable uses); Policy 1.2 (Encourage opportunities to sensitively integrate different, but compatible, land uses); Policy 2.1 (Create opportunities wherein a population diverse in terms of income, age, occupation, race, lifestyle, values, interest, and religion may interact, exchange ideas, and realize common goals); Policy 2.2 (Provide commercial facilities to meet the retail and service needs of the community); Policy 2.7 (Carefully scrutinize plans for developments which will have a significant impact on the city or on surrounding developments to ensure the highest quality design); Finally, the project can meet all of the development provisions contained within, BMC Chapters 17.44 and 17.65; the plans date-stamped February 8, 2018 meet the majority of development standards and the project has been conditioned to comply with remaining provisions.

2. *That the design of the proposal is appropriate to the City, the neighborhood, and lot on which it is proposed.*

That the proposed project is compatible with the surrounding neighborhood and adjacent properties in that there are commercial developments at each intersection of Artesia and Bellflower Boulevard with similar site layout with regards to parking, circulation, signage, open space, and setbacks. In addition the commercial building design is modern and similar in height and style with an existing commercial building to the east of the subject site. Furthermore, the building design is functional, but is also unique, pleasant and visually memorable because of the wall articulations, consistent four sided architecture, blends of pitched and flat roof styles, thick decorative trims on the roof line and decorative drive through roof covers.

3. *That the design of the proposal is compatible with its environment with respect to use, forms, materials, colors, setbacks, location, height, design, or similar qualities as specified in Section 17.80.010.*

The project design is compatible with the environment in regards to use because there are other restaurants in the immediate vicinity; as for forms, materials and color, the site is compatible with adjacent buildings because the forms are square and vertically shaped, the materials include wood, stone, metal, awnings, tile roofing material and stucco. The site is conditioned to include new perimeter split face walls, proper lighting, to provide sufficient pedestrian and vehicles access, and decorative paving. The structure must have minimum "four-sided" architecture treatment/elements. The site is conditioned to meet minimum

setback requirements and the building height is one story. The above features are compatible with surrounding adjacent commercial uses.

The enclosed "Agreement Affidavit in Support Thereof" must be returned to the City of Bellflower Planning Division within ten (10) calendar days of the date of the affidavit. If you have any questions regarding the DR determination, you may contact me at (562) 804-1424, extension 2248 or via email at [jclarke@bellflower.org](mailto:jclarke@bellflower.org).

Sincerely,



Jason P. Clarke  
Acting Planning Manager

Enclosures

cc: Property Owner  
Rowena Genilo-Concepcion, Interim Director of Planning and Building Service  
Case File

AGREEMENT  
AFFIDAVIT IN SUPPORT THEREOF

March 8, 2018

IN THE MATTER OF THE APPLICATION OF

In-N-Out  
Attention: Michelle Bennett  
13502 Hamburger Lane  
Baldwin Park, CA 91706

FOR Development Review Case No. DR 2-18-8742

AT 17325 Bellflower Boulevard Bellflower, CA 90706

PURSUANT TO THE PROVISIONS OF THE ZONING ORDINANCE OF THE CITY OF BELLFLOWER.

STATE OF CALIFORNIA)  
COUNTY OF LOS ANGELES)  
CITY OF BELLFLOWER)

The undersigned Applicant/Property Owner for DR 2-18-8742 (Case Number) in the above entitled matter hereby acknowledges receipt of a copy of the Development Review Conditions of Approval for the project at the above-mentioned site. Applicant/Business Owner/Property Owner further does now hereby accept and agree to comply with all the terms and conditions pursuant to, and under which, said approvals were granted to the Applicant/ Property Owner. Applicant/ Property Owner understands and agrees that the site for which the approvals were granted may not operate until all conditions of approval are implemented.

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Property Owner's Signature

STATE OF CALIFORNIA)  
COUNTY OF LOS ANGELES)

Subscribed and sworn to before me this

\_\_\_\_\_ day of \_\_\_\_\_, 2018,



## ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of \_\_\_\_\_ )

On \_\_\_\_\_ before me, \_\_\_\_\_  
(insert name and title of the officer)

personally appeared \_\_\_\_\_  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature \_\_\_\_\_ (Seal)

**PLANNING DIVISION COMMENTS FOR DR 2-18-8742  
17325 BELLFLOWER BOULEVARD  
MARCH 8, 2018**

**General Conditions**

1. This Development Review request is to allow the construction of a new drive-through in conjunction with the construction of a new 3,878 square foot building for a restaurant use on an approximate 67,398 square foot lot, within the DFD zone on property located at 17325 Bellflower Boulevard.
2. The Development Review approval must be exercised within one year from the date of approval (by February 8, 2019) or it will become null and void, unless a building permit (plan check) application is submitted to the Building Official, or designee, for the project within that twelve (12) month period, in which case the approval is valid as long as the plan check or building permits for the project are valid. The Planning Director may grant a time extension for up to one (1) year. An application for an extension must be filed with the Planning Division with appropriate fees no later than thirty (30) days prior to the expiration of the Development Review approval.
3. Additional comments may be required during Planning Commission process, and plan check review.
4. Failure to implement and/or maintain all provisions of these conditions of approval must be deemed to void this conditional approval.
5. A decision is not effective until permittee acknowledges acceptance of any conditions and any appeal period has lapsed, or a waiver of right to appeal is filed, or if there is an appeal, until a final decision has been made on the appeal. By use of entitlements granted by a development application, the Applicant/Property Owner acknowledges agreement with conditions of approval for the Development Review.
6. The applicant may file an appeal with the Planning Commission from any denial, approval, or conditional approval of any application by the Planning Director pursuant to this chapter. Said appeal must be in writing and must be filed with the City Clerk not later than ten (10) days after the Planning Director's action. Appeals must set forth the alleged inconsistency or nonconformity with procedures or criteria set forth in this chapter, and must be accompanied by a filing fee as established by City Council resolution.
7. Not less than ten (10) calendar days before the date set for the Planning Commission hearing on the appeal, written notice must be given to the appellant or his/her representative, and to the property owner, of the date, time, and place of the hearing. The Planning Commission may affirm, reverse, or modify the decision of the Planning Director, at all times being guided by the criteria set forth in this chapter. An appeal of the Planning Commission's decision may be filed pursuant to Chapter 17.112 of this Code. The decision of the City Council is final.

DR 2-18-8742  
17325 Bellflower Boulevard  
March 8, 2018  
Page 2 of 10

**Plan Revisions:**

Site Plan (Sheet 1 of 1)

1. **Property Address:** Include the property address (17325 Bellflower Boulevard) on the title block.
2. **Property Ownership:** Include the property owner's information on the title block.
3. **Scope of Work:** Include a scope of work description.
4. **Building Data:** Include building data table showing building square footage, number of interior and exterior seats.
5. **Parking Table:** Include a parking table identifying total number of proposed standard and American Disabilities Act (ADA) parking stalls.
6. **Tile Material:** Identify the tile material along the west and south side of the building. Provide manufacturer specifications and sample of material.
7. **Electric Room Doors:** Ensure the doors for the electric room provide sufficient clearance.
8. **Lot Size:** Include the total property lot size in square footage and acres. The minimum required lot size within the DFD for the subject development is 65,340 SF or 1.5 acres (Bellflower Municipal Code § 17.65.080). Lots less than 1.5 acres require a Conditional Use Permit (CUP). Because the lots were reduced in size due to the street widening project, staff can make the findings that a CUP is not required.
9. **Street Name:** Along Bellflower Boulevard remove "formerly Somerset Avenue".
10. **Label Site Plan:** Label all features on the site plan. For example, identify landscaped areas, signs, trash enclosure, driveway material, catch basins, swales, umbrellas, roof line along building, post, path of travel near south property line, tile material, rectangular objects along driveway and parking area, etc.).
11. **Wheel Stops:** It is recommended that wheel stops be incorporated into the project.
12. **Property Lines:** Identify all property line dimensions.
13. **Parking:** The site includes a total of 69 parking spaces. Per BMC Section 17.88.060, one parking space is required per every 300 square feet of building floor area. The site meets the minimum zoning parking requirements.

14. **Mechanical Equipment:** Per BMC Section 17.44.100, mechanical equipment must comply with the following:
  - a. All such mechanical equipment shall be enclosed within a permanent soundproofed enclosure subject to the approval of the building inspector. Location shall be subject to the approval of the planner.
  - b. All ground-mounted mechanical equipment shall be completely screened behind a permanent structure and all rooftop mechanical equipment shall be screened from view from the ground surface from a distance of one hundred (100) feet. Screening methods shall be architecturally compatible with the main building.
  
15. **Setbacks:** Dimension the setback along Artesia Boulevard, Bellflower Boulevard and Beverly Street as follows: *Corner lots must have a front yard setback of not less than ten (10) feet from the front property line or ultimate right-of-way, whichever is greater, and no building nor structure, nor the enlargement thereof, is permitted to encroach within the required front yard setback.* (BMC § 17.44.120 B)
16. **Light Poles:** Show all light poles within the parking lot. Also provide dimensioned elevations of light poles. All outdoor lighting shall be located and shielded so as to prevent the spill of light onto adjacent lots and streets (BMC § 17.44.080). Call out material and color of light fixtures. Provide manufactures specification for staff to review.
17. **Parking Stalls:** Dimension the width and length of all parking stalls. The minimum stall size is 9 feet wide by 20 in length. (BMC § 17.88.010.C).
18. **Loading Space:** Based on the building square footage, one loading space is required for the development of not less than ten (10) feet in width, twenty (20) feet in length, and fourteen (14) feet in height as follows (BMC § 17.88.100.B). If a loading space is not provided, then please apply for a Variance. The Variance must meet the attached four findings and be approved by the Planning Commission. Staff may not be able to support the Variance. The Variance processing fee is \$1348.00 plus a noticing fee of \$600.00 and CEQA fee of \$126.
19. **Drive Aisles:** Dimension the width of all drive aisles. The minimum drive aisle widths are 20 feet for two-way traffic, 10-feet for one-way traffic and 24 feet for 90 degree stalls adjacent drive aisles (BMC § 17.88.060.C and 17.88.020).
20. **Drive Through:** To ensure drive through width is sufficient for vehicles, dimension the width of the drive through at seven different locations (beginning, south side, west side, north side, and all three curves).
21. **Directional Arrows:** Identify all directional arrows throughout the site.
22. **Decorative Paving:** It is recommended to include decorative paving material at the first 10 feet of each driveway location on the property.

23. **Walls and Fences:** Identify the location, height and material of all existing and proposed perimeter fences/walls on the lot and along the west property line. It is recommended to replace the existing westerly fence and wall with a split face wall and include a cap on top. Pursuant to BMC §17.44.060 B. *When any C-G lot has common side or rear property line with an R-zoned property, a masonry or concrete wall not less than six (6) feet high shall be constructed and maintained, provided no wall shall exceed forty-two (42) inches in height where it is in the front yard area of an abutting residential use or district.*
24. **Vehicle Queuing:** Show the vehicle queuing for the drive through, and vehicles entering the site along Bellflower and Artesia Boulevard.
25. **Umbrella's:** Provide manufactures specifications for the proposed exterior umbrellas covering the tables and chairs.
26. **Right-of-Way:** Include the remaining right-of-way along Artesia Boulevard. Dimension the width of each right-of-way along Artesia and Bellflower Boulevard.
27. **APN's:** The site plan shows six parcel numbers; however, the Land Title Survey sheet 2 of 3 identifies four parcels. Please clarify.
28. **Trash Enclosure:** Dimension the trash enclosure area.

Land Title Survey (Sheets 1 of 3)

29. **Property Address:** Include the property address (17325 Bellflower Boulevard) on each title block.
30. **Property Ownership:** Include the property owner's information on the title block.
31. **Lot Size:** Ensure lot size 67,313 SF or 1.545 acres is consistent with recent lot line adjustment associated with street widening along Artesia Boulevard.
32. **Site Plan Consistent:** Ensure the site plan on sheets 2 and 3 matches with the conceptual site plan (i.e. building setbacks, etc.).

Grading & Improvement Plan (Sheets 1 of 4)

33. **Property Address:** On sheets 2 and 3, include the property address (17325 Bellflower Boulevard) on each title block.
34. **Property Ownership:** Include the property owner's information on the title block.
35. **Legal Description:** On Sheet 1 of 4, ensure the legal description and APN's match up with the Title report and visé versa and the lot line adjustment.
36. **Utility Providers:** On Sheet 1 of 4, under "Utility Provider", Lidia Chavaque is identified as the contact for storm water, sewer and water for the City of Bellflower. This is incorrect information, please correct.
37. **Site Plan Consistent:** Ensure the site plan on sheets 2 and 3 matches with the conceptual site plan (i.e. building setbacks, etc.).

38. **Section Detail:** Add a section detail C-C to sheet 4, showing the west property line and include new block wall mentioned in comment No. 23. Also dimension the wall height.

Utility Plan (Sheet 1)

39. **Property Address:** Include the property address (17325 Bellflower Boulevard) on each title block.
40. **Property Ownership:** Include the property owner's information on the title block.
41. **Lot Size/Property Lines:** Ensure lot configuration, size and property lines are consistent with recent partial lot line adjustment associated with the future street widening project along Artesia Boulevard. (see attached).
42. **Site Plan Consistent:** Ensure the site plan on sheets 2 and 3 matches with the conceptual site plan (i.e. building setbacks, etc.).

Trash Enclosure Plans

43. **Property Address:** Include the property address to be consistent with the other sheets 17325 Bellflower Boulevard.
44. **Property Ownership:** Include the property owner's information on the title block.
45. **Trash Provider:** Ensure the trash enclosure complies with trash providers regulations (CR&R). According to CR&R, they do not use a 2yd recycle bin & there are no rates for Vertipak compactors in Bellflower. The enclosure has enough room for bins but you need to rethink the bin sizes and compactor. Please contact Dan Stapanian by email ([DanS@crrmail.com](mailto:DanS@crrmail.com)) to address this item.
46. **Inconsistent Elevation and Floor Plans:** The single door location is inconsistent with all other site plan layouts. Revise trash enclosure elevation and floor plan or all other plans (i.e. site, utility, grading, landscape, etc.).

Landscape Plan (Sheet L1.0)

47. **Property Address:** Include the property address to be consistent with the other sheets (17325 Bellflower Boulevard).
48. **Property Ownership:** Include the property owner's information on the title block.
49. **Site Plan Consistent:** Ensure the landscape plan matches with conceptual site plans (i.e. building setbacks, etc.).
50. **Landscape Square footage:** Indicate the square footage of each landscaped area.
51. **Cross Palm Trees:** Identify the location of the signature cross palm trees. Update planting legend as well.
52. **Landscape Requirements:** Revise the plans and include a table showing how the project addresses the following requirements (BMC § 17.44.070):

DR 2-18-8742  
17325 Bellflower Boulevard  
March 8, 2018  
Page 6 of 10

- a. Landscaping in the interior of the parking area shall be required to equal at least five percent (5%) of the parking area with a minimum ten (10) foot wide landscaped planter located adjacent to all rights-of-way, and the same shall be continuously maintained.
  - b. Planting beds shall have a minimum width of six (6) feet and shall be distributed throughout the parking area.
  - c. Earth mounding shall be used when required by the planner.
  - d. All planting beds shall be bordered by a minimum six (6) inch high concrete curb except where decorative walls are provided. No automobile space may incorporate the required planter within its dimension.
  - e. Plants and irrigation systems shall be installed in all landscape areas in conjunction with any alteration or modification of the property except as noted herein.
  - f. A minimum of one (1), forty-eight (48)-inch box tree and five (5), five (5) gallon plants for each one thousand (1,000) square feet of floor area.
53. It is recommended that you utilize water-efficient landscaping design consisting of low-water-use plants. Decorative hardscape such as pavers, rocks, stone, brick, etc., may be used in the landscape design as an accent only. In no case shall the landscape design use a majority of decorative hardscape. Water-efficient landscaping shall be provided with a permanent irrigation system adequate to meet the water needs of all landscape material. Irrigation systems shall be designed to minimize maintenance and water consumption.
54. If the amount of proposed landscaping exceeds 500 square feet then the project must comply with the California 2015 Updated Model Water Efficient Landscape Ordinance (MWELO). The MWELO must be certified by a licensed landscape architect prior to building permit final. If proposed landscaping is greater than 500 square feet and less than 2,500 square feet, prescriptive compliance with MWELO may be used in lieu of a landscape documentation package which must be prepared by a licensed landscape architect.

#### Floor Plan, Elevations and Roof Plan

55. **Property Address:** Include the property address to be consistent with the other sheets (17325 Bellflower Boulevard).
56. **Property Ownership:** Include the property owner's information on the title block.
57. **Columns:** Dimension the width between the five columns and the building.
58. **Sheet Numbers:** Include numbers on all sheets.
59. **Light Fixtures:** Show all light fixtures on all elevations.
60. **Awnings:** Provide manufactures specification for the exterior awnings.

Sign Plan (Sheets 1-11)

61. **Property Ownership:** Include the property owner's information on the title block of all sheets.
62. **Trash Enclosure:** On Sheet 1, see comment 45.
63. **Building Footprint:** The building footprint on Sheet 1 is floating over the driveway. Correct by placing building in correct location.
64. **Signage:** The project is subject to the following sign regulations per BMC Sections 17.68.030 and 17.65.040.
  - a. **Monument Sign:** Monument signs are limited to six feet tall (BMC § 17.65.040). The monument sign is dimensioned at eight feet tall. Reduce sign height to six feet or apply for a Sign Permit at the Planning Commission with your CUP for the drive through. The sign permit processing fee is \$1,099.00. Please submit 15 sets of sign plans.
  - b. **Sign Height:** The height of any sign shall not be in excess of any of the following limitations: Forty-five (45) feet above grade in any event. Twenty-five (25) feet above grade level if the sign is a freestanding or ground sign. Fifteen (15) feet above the roof line when sign is constructed on top of or attached to the side of the building. The free standing sign located in the northwest side of the property is proposed at 75 feet in height, which exceeds the allowed height requirement. Reduce the sign height or apply for a Sign Permit (see 64.a. above).
  - c. **Sign Area:** A sign shall have only three hundred (300) square feet in area.
  - d. **Number of Free Standing:** One (1) freestanding sign per separate street frontage of one hundred fifty (150) feet or greater per parcel of land shall be permitted; provided, that the said sign is in all other respects in compliance with an ordinance or law applicable thereto. The sign location is next to Beverly Street and the street length is less than 150 feet in length; therefore, you will need to either remove the sign or apply for a Sign Permit (see 64.a. above).
65. **South Elevation:** The south elevation on sheet 4 indicates B1 as the sign information; however, the site plan indicates B3.
66. **North and East Elevations:** The north and east elevations on sheet 5 indicates B3 as the sign information; however, the site plan indicates B1. On the north elevation include the "double-strand red LED".
67. **Master Sign Plan:** Project must include a "Master Sign" plan. The master sign plan must include all signage on the property (i.e. freeway sign, monument sign, wall signs, interior parking lot signs, ADA signs, etc.).



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17325 Bellflower Boulevard  
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Other

68. **Preliminary Title Report:** The report includes property owner's name that are different from what is provided on the project application. Provide an updated title report with current property ownership information. The report includes several easements; show all easements on the site plan.
69. **Property Ownership:** Provide status update of property ownership for the remaining two parcels currently in escrow. If properties are still under separate ownership, then you must obtain written permission from current property owner(s) in order to process CUP application request.
70. **Lot Line Adjustment:** It is recommended that the remaining lots that were not included in the original lot line adjustment be added; either a new lot line adjustment/or amendment will be required.
71. **Door and Window Schedule:** Provide a door and window schedule.
72. **Photometric Plan:** A photometric plan, prepared by a licensed engineer, must be submitted for review and approval. The photometric plan must indicate a foot candle of 0 at all property lines and public right-of-ways. The photometric plan must provide foot candle measurements at least 5 feet from the property lines and the public right-of-way.
73. **Trash Cans:** Incorporate trash cans within the outside seating areas and near door entrances/exits. Provide manufactures specifications for review.
74. **Existing Site Plan:** Provide existing dimensioned site/demo plan.
75. **ADA Compliance:** The project must comply with the most recently adopted California Building Codes, including compliance with the American Disabilities Act (ADA).

**Entitlement/Review Process**

Please submit the following for the entitlement process after revising the plans:

76. **Project Application Submittal:**
  - A. 15 sets of plans (i.e. site plan, floor plan, roof plan, landscape plan, building elevations, signs, etc.).
  - B. **Architectural Site Model:** projects with a project valuation greater than two and a half million dollars (\$2,500,000.00), adjusted annually to reflect the Consumer Price Index, must provide an architectural model that illustrates the site layout, design features and architecture of each structure within the project. The model must be constructed to the specifications established by and in the sole discretion of the Director. The model is the property of the City. Please prepare and submit a model if the project valuation is greater than 2.5 million dollars for the entitlement process. [BMC § 17.80.070]
  - C. One copy of 8 ½" X 11" reductions of all architectural plans (i.e. site plan, floor plan, roof plan, landscape plan, building elevations, etc.).
  - D. Digital copy of all submittal items.

77. **California Environmental Quality Act (CEQA) Review and Status:** The project will be processed as a Mitigated Negative Declaration (MND) because the traffic study indicates a significant impact and proposes a mitigation measure to address the impact (see attached conclusions from traffic study). Per CEQA, a categorical exemption cannot be processed for the project because an exemption cannot contain the mitigation measures. The MND is the appropriate document.
78. **Phase 1 Environmental Document:** Per the Phase 1 document, the consultant recommends to provide a soils management plan and complete an asbestos survey for the building demo. The City will address the demolition associated with the street widening project, however, the other buildings will require separate soils management plans and asbestos survey.
79. **Climate Action Plan:** The project must comply with the attached Climate Action Plan (CAP) by integrating the City's Climate-Ready Development Standards selected by the Applicant/Property Owner(s) and achieve the minimum required 16 points out of the 21 target points. Please complete and submit the attached table for the entitlement process.
80. **Public Poster Noticing:** Three (3) Notice of Public Hearing poster will be required for the proposed project. The fee is approximately \$100.00 plus tax per poster. A sign company in Bellflower will contact you once the posters are ready. The posters must be posted on-site at least ten (10) days in advance of the scheduled public hearing. Please see the attached handout for further details on the poster sign process. Reminder.
81. **Door and Window Schedule:** Provide a door and window schedule.
82. **Native Tribe Consultation:** Since the project may be processed as a Mitigated Negative Declaration, pursuant to the California Environmental Quality Act (CEQA), the project is currently under a 30 day consultation with the California Native Tribes. When consultation is completed the project can proceed to public hearing and the MND can be processed. On March 2, 2018, one tribe made contact and requested consultation. City staff will update you when the consultation period is completed.
83. **Fish and Game/CEQA Environmental Review:** Two (2) separate checks for \$75 made out to the Los Angeles County Recorders are required and/or a Fish and Game filing fee of \$2,280.75 may be required.
84. **Development and other Fees:** The project is subject to the following list of development fees (See attached list):
- A. **Public Facilities Fee:** The proposed project will be subject to the Public Facilities Fee. The fee for the commercial project is \$0.175/sf. The applicable fee will be charged during building plan check and payment must be received before permits may be issued. [BMC § 3.24]

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17325 Bellflower Boulevard  
March 8, 2018  
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- B. **Public Arts Fee:** All new residential projects with a project valuation in excess of \$500,000.00 are subject to the Public Arts provision. The project applicant must acquire and install art work in a public place on or in the vicinity of the project site, as approved by the City Council pursuant to BMC Chapter 3.32. The cost or value of such work must equal or exceed one percent (1%) of the project cost. Alternatively, in-lieu of acquiring and installing art work, the project applicant may contribute an amount equal to one percent (1%) of the project cost to the Public Arts Fund. [BMC § 3.36]
- C. **Construction and Demolition (C&D) Waste Management Plan:** A C&D Waste Management form is required to be completed, submitted, and approved by Public Works Department prior to issuance of building permits.
- D. **Underground Utilities:** Service for all utilities (including but not limited to the electrical service) must be of underground entry when the valuation of a project exceeds \$50,000.00.
- E. **School Fees:** The subject property is located within the Bellflower Unified School District (B.U.S.D.). B.U.S.D. charges \$.56 per square foot for new commercial construction. Proof of payment to the school district, or documentation that project is exempt from, or that fees have been waived must be provided during plan check for building permits to be issued.

The project is subject to additional comments and recommendations during the Public Hearing and Plan Check process, and/or pending further revisions/submittals.

## **Standard Building & Safety Comments**

### **Codes in Effect:**

- 2016 California Building Code
- 2016 California Residential Code
- 2016 California Green Building Standards
- 2016 California Energy Code
- 2016 California Electrical Code
- 2016 California Mechanical Code
- 2016 California Plumbing Code
- 2016 California Fire Code
- 2016 LA County Fire Code as adopted with amendments by the City of Bellflower
- Bellflower Municipal Code

**4 sets of complete plans and 2 sets of supporting documents are required at plan check submittal.**

**Commercial Projects must be designed by a California Licensed Designed Professional. Plans must be stamp and signed by the California Licensed Design Professional.**

**Certain projects may require approval from LA County Fire Department.**

**Certain projects may require approval from LA County Health Department.**

**Additional comments may occur during the Plan Review Process.**

**The City of Bellflower offers a Self-Certification Program for Plan Review.**



## Plan Case Detailed

# Development Review Board

Application Date: 02/08/2018

Case Status: Under Review

Location Address: 17325 Bellflower Boulevard



Department of Public Works  
Bellflower, CA 90706  
(562) 804-1424 ext. 2259

**Checklist is ONLY an estimate of Right of Way Construction Cost and NOT an actual cost  
ROW DEPOSIT MUST BE PAID IN FULL PRIOR TO/OR DURING BUILDING PERMIT ISSUANCE**

Permit Number: DR-2-18-8742

Owner:

Telephone No:

Applicant: In-N-Out

Telephone No: (626)813-5375

Proposed Work: Drive Thru - New In-N-Out burger restaurant

Project Valuation: N/A

### Driveway Apron - Right of Way Permit Required

**Comments:** THERE ARE THREE (3) EXISTING DRIVEWAY APRONS LOCATED ALONG ARTESIA BOULEVARD:

1. WESTERNMOST, MEASURING 11' X 9' - PER THE SUBMITTED PLANS, THIS APRON SHALL BE REMOVED AND RECONSTRUCTED ACCORDING TO CURRENT CITY STANDARD PLAN (BSP-02, COMMERCIAL).

2. & 3. CENTRAL AND EASTERNMOST, EACH MEASURING 20' X 9' - PER THE SUBMITTED PLANS, BOTH APRONS SHALL BE REMOVED, AND THE SIDEWALK AND CURB AND GUTTER RECONSTRUCTED FULL.

A FOURTH DRIVEWAY APRON, MEASURING 30' X 9', LOCATED ON THE NORTH SIDE OF THE PROPERTY AT THE BEVERLY STREET CUL-DE-SAC, SHALL BE REMOVED, AND THE SIDEWALK AND CURB AND GUTTER RECONSTRUCTED FULL.

A "C-8" OR AN "A" LICENSED CONTRACTOR SHALL APPLY FOR A CITY OF BELLFLOWER RIGHT OF WAY PERMIT TO PERFORM ALL LISTED RIGHT OF WAY IMPROVEMENTS.  
CLASS B (GENERAL BUILDING) CONTRACTORS WILL NOT BE APPROVED FOR PERMIT ISSUANCE TO PERFORM THIS TYPE OF WORK WITHIN THE PUBLIC RIGHT OF WAY.

### Ramps - Right of Way Permit Required

**Comments:**

### Curb & Gutter - Right of Way Permit Required

**Comments:** CURB AND GUTTER SHALL BE REMOVED AND RECONSTRUCTED CORRESPONDING TO THE RECONSTRUCTED DRIVEWAY APRON.  
CURB AND GUTTER CORRESPONDING TO THE THREE ABANDONED DRIVEWAY APRONS SHALL BE REMOVED AND RECONSTRUCTED FULL.

### Sidewalks - Right of Way Permit Required

**Comments:**

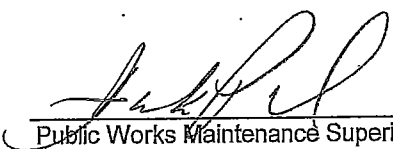
**CITY OF BELLFLOWER**  
**Department of Public Works**  
**PRELIMINARY SEWER RECONSTRUCTION FEE**

Pursuant to Chapter 13.12 of the Bellflower Municipal Code and Resolution 08-36

Building Address	17325 Bellflower Boulevard	Plan Case Number	DR-2-18-8742
Owner:	Brad Becker, Bellflower III Partners, LLC	Planner:	Jason Clarke
Applicant:	Michelle Bennett	Developer:	
Mail Address	13502 Hamburger Ln., Baldwin Park, CA 91706	Telephone:	626-813-5375
Lot Area:	67,313 Sq. Ft.	Use of Building:	Restaurant/Drive-thru

The peak rate of flow to the Sanitary Sewer from a building containing mixed occupancies shall be determined by adding the peak rate of flow of the various occupancies.

OCCUPANCIES	Number of Units	Type of Units	Daily Peak Flow Per Unit	Peak Rate of Flow (gallons per day)
Apartments & Dwellings		Dwelling Units	600	0
Assembly Areas/ Auditorium		Persons	15	0
Car Wash		Lane	86,400	0
Bars & Cocktail Lounges		Seats	60	0
Churches		1000 Sq. Ft. floor area	600	0
Hospitals		Beds	1,500	0
Industry, light (no water processes)		1000 Sq. Ft. floor area	600	0
Laundry (Automatic)		Machines	225	0
Hotel/Motel		Units	600	0
Medical office		1000 Sq. Ft. floor area	900	0
Mobile home or trailer park		Units	400	0
Offices		1000 Sq. Ft. floor area	600	0
Restaurants	128	Seats	150	19,200
Stands or Drive-Ins		1000 Sq. Ft. floor area	900	0
Stores		1000 Sq. Ft. floor area	300	0
Storage or warehouse		1000 Sq. Ft. floor area	75	0
Total Peak Rate of Flow				19,200
If lot is or will be vacant**, then: Deduct Credit @ 0.12 gal. per day per sq. ft. of lot area				0
Total Peak Rate of Flow subject to charge				19200.00
Total Charge @ \$0.63 per gallon				\$12,096.00

  
 Public Works Maintenance Superintendent

3/2/18  
 Date

\*\* If new building adds to existing, there is no credit. If partial demolition, refer to Director of Public Works for determination.

**Date:** March 6, 2018

**TO:** Rowena Genilo-Concepcion, Interim Director of Planning and Building Services

**FROM:** Jerry Stock, City Engineer

**SUBJECT:** DR 2-18-8742, 17325 Bellflower Boulevard

I have reviewed the area in question and the following deficiencies in land development as they pertained to public right-of-way were noted. Any existing damaged public right-of-way improvements shall be repaired in accordance with Section 5600 et seq of the California Streets and Highways Code and with the Bellflower Municipal Code before occupancy will be granted. (Property owner is responsible for the repair and maintenance of curb/gutter, sidewalk and drive apron).

#### **TRAFFIC ENGINEERING**

The site plan shall show the location and dimensions of all existing and proposed drive approaches.

The site plan shows the prior and the new right of way fronting Bellflower Blvd. The site plan shall be revised accordingly to note prior and new right of way.

The site plan shall show all existing right of way improvements.

Landscape and hardscape improvements located adjacent to driveways, parking lot drive aisles and within the limited use areas identified in the traffic impact analysis shall not exceed 42" in height as measured from the paved driveway surface to ensure safe vehicular sight distance.

The site plan shall provide driveway dimensions at all angle points and any proposed radii. Dimensions and curb radii shall also be shown for the proposed drive through.

The site plan shall dimension the parking spaces, disabled loading zones, parking lot drive aisles, sidewalks and pedestrian paths.

A traffic impact analysis prepared by a licensed traffic engineer has been completed with comments provided to the author of the analysis. Specific recommendations relative to development of the site shall be incorporated into the final construction documents.

All drive approaches shall be designated right turn in/right turn out only.



The site plan shall show the designated disabled access path from the public right of way.

The site plan shall show and dimension the on-site loading zone.

The site plan shall include a table showing on-site parking required and on-site parking provided.

### **CITY ENGINEERING**

The site plan shall show and dimension all property lines and any internal lot lines.

The site plan shall show and dimension all easements.

A preliminary soils report prepared by a licensed civil or geotechnical engineer is required and shall include an assessment of liquefaction potential.

Fire Protection: This development may require construction of fire protection improvements. Prior to the approval of any development plans the applicant is required to contact Los Angeles County Fire Department, Engineering Division, to obtain the fire flow and access requirements for any proposed development.

The applicant shall contact the local Water Company to determine the existing fire flow rate in this area. If the existing fire flow capabilities are below the required minimum, the applicant shall provide the necessary means for meeting the fire flow rates required by the Fire Department.

A grading plan prepared by a California licensed civil engineer is required. A draft plan was provided. The bench mark and basis of bearings shall be consistent with the bench mark and basis of bearings used for the widening of Bellflower Boulevard and previously provided to the applicant. The minimum slope on concrete flow lines shall be 0.50%. Minimum slope on asphalt concrete or turf shall be 1.0%. Existing elevations of adjacent property and street flow lines must be shown around the perimeter of the proposed development. All applicable NPDES requirements established by the City of Bellflower storm water consultant shall be complied with including the preparation of a SUSMP.

The trash enclosure plan calls for roof drains to connect to the storm drain. Please clarify.

Any proposed landscaping in the public right of way shall be installed per the City of Bellflower Master Street Tree Plan.

A legal description was submitted. However the Title Report provided has a commitment date of Feb. 21, 2017 and does not reflect a lot line adjustment recorded Nov. 8, 2017.

The ALTA survey provided is dated April 20, 2017 and does not reflect the current conditions following a lot line adjustment that was recorded Nov. 8, 2017.

The site plan shall show and dimension all existing and proposed perimeter walls/fences.

A photo metrics plan for parking lot lighting is required.

There are three (3) existing driveway aprons located along Artesia Boulevard:

1. The westerly most driveway apron shall be removed and reconstructed per current City of Bellflower Standards (Standard Plan BSP-02 – Commercial).
2. & 3. The middle and easterly driveway aprons shall be removed and the sidewalk, curb & gutter reconstructed full parkway width.

A fourth (4) driveway apron located at the northwest corner of the site fronting Beverly Street shall be removed and the sidewalk, curb & gutter reconstructed full parkway width.

**NOTE: A "C-8" OR AN "A" LICENSED CONTRACTOR SHALL APPLY FOR A CITY OF BELLFLOWER RIGHT OF WAY PERMIT TO PERFORM ALL LISTED RIGHT OF WAY IMPROVEMENTS.**

**CLASS B (GENERAL BUILDING) CONTRACTORS WILL NOT BE APPROVED FOR PERMIT ISSUANCE TO PERFORM THIS TYPE OF WORK WITHIN THE PUBLIC RIGHT OF WAY.**

Curb & gutter shall be removed and reconstructed corresponding to the reconstructed driveway apron. Curb & gutter corresponding to the three (3) abandoned driveway aprons shall be removed and reconstructed in accordance with City of Bellflower standards. Note: Curb and gutter shall be monolithic.

An on-site sanitary sewer lateral shall be constructed to service the property. The minimum lateral size from main to property line is 6". Excavation permits with necessary insurance and bonds are required.

For any new sewer connections please contact the Los Angeles County Sanitation District and obtain any connection permits. Documentation of said permits shall be submitted to the Building Official prior to the issuance of any building permits. Provide documentation from the District that sufficient sewer capacity is provided.

A City of Bellflower Sewer Reconstruction fee in the amount of \$12,096.00 shall be paid to the City of Bellflower.

Un-sodded, mounded planters adjacent to public sidewalk shall be provided with 6" curbs to prevent soil run-off onto the public sidewalk. Curbs are not required if the planter consists of sod.

The contractor shall meet with the City Public Works Inspector before starting any construction within the public right-of-way.

All work within the public right-of-way, including placing and removal of traffic control devices, shall be restricted to the hours between 8:30 A.M. and 3:30 P.M., Monday through Friday. No work requiring continuous inspection or traffic control shall be done on Saturday, Sunday or Holidays, unless prior arrangements have been made at least one week in advance with the approval of the City Engineer.

The developer, at his/her cost, shall be responsible for the relocation as necessary of any public or private utility or other obstruction to facilitate the construction within the public right-of-way.

**PERMITS ARE REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY**

**Date:** February 27, 2018  
**TO:** Jason Clarke, Acting Planning Manager  
**FROM:** Jerry Stock, City Engineer  
**SUBJECT:** Traffic Impact Analysis Comments – In & Out Burger

**FOLLOWING ARE MY COMMENTS TO THE TRAFFIC STUDY**

- The project proposes a 3,878 SF drive-through/sit down fast food type restaurant.
- The site plan provides for 84 indoor and 44 outdoor seats.
- A total of 69 on-site parking spaces are to be provided.
- ***Site access is proposed be provided by one right turn in/right turn out driveway fronting Bellflower Blvd.***
- ***Site access is proposed be provided by one right turn in/right turn out driveway fronting Artesia Blvd.***
- ***The study reflects 2019 as the project opening year and assumes a 1% annual growth rate. This is appropriate.***
- ***The study is based upon completion of the Bellflower Blvd. widening project.***
- Project trip generation was based upon a survey of 3 similar In & Out Burger restaurants as opposed to using ITE Trip Generation publications. The approach and volumes are appropriate.
- The project trip distribution and assignment is appropriate.
- The study assessed 8 street intersections and the two access driveways. The locations selected are appropriate and were based upon discussions with City staff.
- Cumulative projects identified are consistent with what was provided by City Planning staff.
- The study times are weekday PM peak hour (4-6) and a Saturday mid-day (11 AM to 1 PM). The study periods are appropriate. The project is not open during AM peak hours.
- The analysis methodology used is appropriate.
- The study reflects LOS D as the City of Bellflower minimum acceptable LOS. This is appropriate.
- The study defines the threshold of significance as a LOS change to E or F or an increase in the volume to capacity ratio of 0.02 or greater. This is appropriate.
- On page 8, Section 3.0, the study states on street parking is prohibited at the Woodruff Avenue at

Artesia Blvd. intersection. There is some on street parking that is not prohibited. The study shall be revised accordingly.

- Page 9, Exhibit 4, intersection 1, Bellflower at Artesia, the Exhibit shall be revised to show the de-facto right turn lanes in all four travel directions. Also intersection 9 shall be revised to reflect the opening year northbound right turn lane on Bellflower Blvd.
- ***Please double check the LOS computations for all conditions at intersection 8, Woodruff Avenue at Artesia Blvd. given the presence of de facto right turn lanes stated in the prior bullet point.***
- Page 13, last paragraph, the last sentence Sat. inbound, change 117 inbound to 177 inbound.
- ***As a result of the project the only significantly impacted intersection is Bellflower Blvd. at Artesia Blvd. and that only occurs in the buildout year of 2038. Mitigation is provided by a westbound right turn overlap.***
- The two Caltrans study intersections (east and westbound Bellflower Blvd. ramps) will not have a significant impact under any study conditions associated with the project.
- The study assessed line of sight at the applicable study intersections. The study correctly states that line of sight shall be incorporated into the design process to ensure the limited use areas are constructed in such a manner to provide the minimum required sight distance.
- ***Intersection 4, Bellflower Blvd. at Ardmore. Was the impact of westbound U-turns considered in the operation of that intersection? Rather than just ICU, the delay and possible left turn queueing needs assessed.***
- ***The study assessed existing drive-through queueing at three existing In & Out Burger restaurants. The maximum drive through queue at any restaurant was 27 vehicles. The project proposes queue storage for 28 vehicles. This is appropriate.***
- The project shall provide appropriate signing for drive through and parked patrons.

#### **IMPACTS OF OPENING THE ARTESIA MEDIAN**

- ***The study considered the possibility of opening the existing raised landscaped center island median on Artesia Blvd. to allow access to the site from east bound Artesia Blvd.***
- ***The study concluded excessive delay would result at the Artesia Blvd. project drive way for outbound project traffic if outbound left turns are allowed. The study did not recommend this option.***
- ***The study concluded a median opening is recommended provided the Artesia Blvd. project driveway is right turn-left turn inbound but only right turn outbound.***
- ***If this median opening is to be constructed, the analysis shall determine the appropriate length of the east bound left turn lane at the project drive based upon buildout (2038) year conditions.***



## COUNTY OF LOS ANGELES FIRE DEPARTMENT

Land Development Unit  
5823 Rickenbacker Road  
Commerce, California 90040

RECEIVED  
2-28-18

DATE: February 22, 2018

CITY: Bellflower PLANNING SECTION

ATTENTION: Planning

SUBJECT: DR 2-18-8742

LOCATION: 17325 Bellflower Boulevard

- The Fire Department's Land Development Unit has no requirements for this permit.
- Review and approval by the County of Los Angeles Fire Department Fire Prevention Engineering Section Building Plan Check Unit shall be required for this project prior to building permit issuance. Contact the Fire Prevention Engineering Section Plan Check office checked below for specific submittal requirements for this project.

**Fire Prevention Commerce Office**  
5823 Rickenbacker Road  
Commerce, CA 90040  
(323)890-4125

**Fire Prevention Calabasas Office**  
26600 Agoura Road  
Calabasas, CA 91302  
(818)880-0341

**Fire Prevention Hawthorne Office**  
4475 W. El Segundo Boulevard  
Hawthorne, CA 90250  
(310)263-2732

**Fire Prevention Glendora Office**  
231 W. Mountain View Avenue  
Glendora, CA 91741  
(626)963-0067

**Fire Prevention Santa Clarita Office**  
23757 Valencia Boulevard  
Santa Clarita, CA 91355  
(661)286-8821

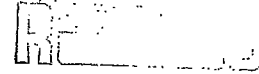
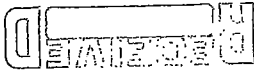
**Fire Prevention Lancaster Office**  
335-A East Avenue K-6  
Lancaster CA 93535  
(661)537-2901

- Comments:** Submit to the County of Los Angeles Fire Department Fire Prevention Engineering Section Building Plan Check Unit for review and approval. See checked box above for contact information

Fire Protection facilities; including access, must be provided prior to and during construction. Should any questions arise regarding this matter, please feel free to call our office. For questions regarding subdivision's, fire protection water systems, or access, please contact the County of Los Angeles Fire Department, Fire Prevention Land Development Unit at (323)890-4243

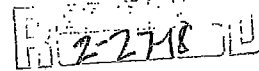
Inspector: *Nancy R. Ketchum*

04/2014



**Water Quality Conditions of Approval**  
(Version March 2017)

**Project Name:** In-N-Out  
**Project Location:** NWC Bellflower Blvd & Artesia Blvd  
**Application No:** DR 2-18-8742  
**Planner:** Brad Becker  
**Verified by:** Lori Wolfe  
**Date:** 2-23-18



1. **Prior to grading permit**, the applicant shall comply with the National Pollution Discharge Elimination System (NPDES) permit from the California Regional Water Quality Control Board.
2. **Prior to grading permit**, the applicant shall file any required documents, including but not necessarily limited to the notice of intent, and comply with permits from the California Regional Water Quality Control Board.
3. **Prior to grading permit**, the applicant shall furnish the project's LID Plan for review and approval to the satisfaction of the City Planner and/or the City Engineer. The LID Plan will be required to implement post-construction treatment controls as identified in the MS4 PERMIT, Los Angeles RWQCB Order No. R4-2012-0175-Planning and Land Development Program (page 94). The design treatment volume must be calculated in accordance with the MS4 Permit and LA County Hydrology Manual Appendix A procedures to the satisfaction and approval of the City Engineer. The calculations must be performed by a licensed Civil Engineer in the State of California. Structural treatment controls shall be designed to meet CASQA design requirements at a minimum (<http://www.cabmphandbooks.com> for New Development/Redevelopment).
4. **Prior to grading permit:** the project must demonstrate to the satisfaction of the City Engineer and/or the City Planner that the MS4 Permit requirements are met and shown on the project plans.
5. **Prior to grading permit: Treatment of Pollutants-** The applicant must demonstrate to the satisfaction of the City Planner and/or City Engineer that the selected Structural Treatment Controls adequately treat pollutants of concern for the expected project pollutants to a medium or high removal efficiency and for the currently approved Lower San Gabriel River Reach 1 and Los Cerritos Channel 303(d) listed pollutants. The applicant shall include in the LID report all calculations and treatment control manufacturer information, if applicable, to demonstrate the pollutant removal efficiency for the project pollutants and 303(d) listed pollutants (<http://www.swrcb.ca.gov>).



**6. Prior to grading permit: Maintenance Agreement-** A maintenance agreement shall be reviewed and approved to the satisfaction of the City Planner and/or City Engineer. The Maintenance agreement shall be submitted in accordance with the requirements of Order No. R4-2012-0175, Page 111. The Maintenance Agreement shall be signed and notarized by the owner, City Manager and City Attorney and recorded with the LA County Recorder.

**7. Prior to grading permit: Project Plan Requirements-** The applicant shall include on the project plans to the satisfaction of the City Engineer the following information:

- a. Grading Plan Title Sheet: Indicate the project is subject to LID requirements with the Following text: "LID PROJECT".
- b. Maintenance requirements must be listed for all structural treatment controls.
- c. All constructed LID requirements must be clearly identified as such in the project plans and in the LID Report including maintenance operations and maintenance responsibility.

**8. Prior to grading permit: Construction Requirements-** The applicant shall sign the owner's certification form and embed this document in the project plans to the satisfaction of the City Planner or City Engineer.

**9. Prior to grading permit: Low Impact Development (LID) -** The project shall incorporate structural LID practices for the site in consideration of the site's land use, hydrology, soil type, climate and rainfall patterns.

**10. Prior to grading permit: Trash Enclosures –** Trash enclosures shall meet storm water quality standards. They shall be designed to have a solid impermeable roof and concrete slab floor. The roof shall have a minimum clearance height of at least 9 feet to allow the bin lid to completely open. The concrete slab shall be graded to contain any spill within the enclosure. The enclosure area shall be protected from receiving direct rainfall or run-on from collateral surfaces. Rainwater or wastewater runoff from trash enclosure is prohibited. An alternate drain from the interior of the enclosure that discharges to the sanitary sewer may be constructed if approved by sewer district.

**11. Prior to grading permit,** the applicant shall submit a Storm Water Pollution Prevention Plan (SWPPP) for sites 1 acre or greater, for the review and acceptance by the City Engineer. The SWPPP shall describe the construction phase Best Management Practices (BMPs) to ensure compliance with the NPDES General Permit for storm water discharges associated with construction activity.





# STORMWATER PLANNING PROGRAM PRIORITY PROJECT CHECKLIST

**FORM  
PC**

Project Name <b>In-N-Out</b>	Owner Name <b>In-N-Out Burgers</b>	Developer Name <b>Joseph C. Truxaw and Associates</b>
Project Address <b>NWC Bellflower Blvd &amp; Artesia Blvd</b>	Owner Address <b>13502 Hamburger Lane</b>	Developer Address
	<b>Baldwin Park, CA</b>	
Plan Check # <b>Pre-Application Review</b>	Owner Phone	Developer Phone <b>(714) 935 - 0106</b>

### TYPE OF PROJECT

Does the proposed project fall into one of the following categories? Please check Yes/No

	YES	NO
--	-----	----

### PRIORITY PROJECTS

1. A new project equal to 1 acre or greater of disturbed area and adding more than 10,000 square feet of impervious* surface area	X	
2. A new industrial park with 10,000 square feet or more of surface area		X
3. A new commercial mall with 10,000 square feet or more surface area		X
4. A new retail gasoline outlet with 5,000 square feet or more of surface area		X
5. A new restaurant (SIC 5812) with 5,000 square feet or more of surface area	X	
6. A new parking lot with either 5,000 ft <sup>2</sup> or more of impervious* surface or with 25 or more parking spaces	X	
7. A new automotive service facility (SIC 5013, 5014, 5511, 5541, 7532-7534 and 7536-7539) with 5,000 square feet or more of surface area		X
8. Projects located in or directly adjacent to, or discharging directly to a Significant Ecological Area (SEA)*, where the development will: a. Discharge stormwater runoff that is likely to impact a sensitive biological species or habitat; and b. Create 2,500 square feet or more of impervious surface area		X
9. Redevelopment*		X

### SPECIAL PROVISION PROJECTS

10. Green street* project		X
11. Single family hillside* home		X

If checked YES, numerical criteria will apply to items 1,2,6-9 and items 3-5 (for project areas of 5,000 ft<sup>2</sup> or more of surface area.) If any of the boxes are checked YES, this project will require the preparation of a Low Impact Development (LID) Plan and a Maintenance Agreement Transfer\*

\* Defined on back.

\_\_\_\_\_  
Applicant Name

\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Applicant Title

\_\_\_\_\_  
Date

## DEFINITIONS:

**Impervious** are those surfaces that do not allow stormwater runoff to percolate into the ground. Typical impervious surfaces include: concrete, asphalt, roofing materials, etc. However, some specially designed concrete/asphalt do allow water to percolate (pervious).

**Hillside** means property where the slope is 25% or greater and where grading contemplates cut or fill slopes. Single family hillside homes will require a less extensive plan. During the construction of a single-family hillside home, the following measures are implemented:

- a. Conserve natural areas
- b. Protect slopes and channels
- c. Provide storm drain system stenciling and signage
- d. Divert roof runoff to vegetated areas before discharge unless the diversion would result in slope instability
- e. Direct surface flow to vegetated areas before discharge unless the diversion would result in slope instability.

**Green Streets** means any street and road construction of 10,000 square feet or more of impervious surface area

- a. These projects will follow an approved green streets manual to the maximum extent practicable. Street and road construction applies to standalone streets, roads, highways, and freeway projects, and also applies to streets within larger projects. Stormwater mitigation measures must be in compliance with the approved green streets manual requirements.

**Redevelopment** means land-disturbing activities that result in the creation, addition, or replacement of 5,000 ft<sup>2</sup> or more of impervious surface area on an already developed site.

Redevelopment does not include routine maintenance activities that are conducted to maintain the original line and grade, hydraulic capacity, or original purpose of facility, nor does it include modifications to existing single family structures, or emergency construction activities required to immediately protect public health and safety.

**Significant Ecological Area** means an area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and would be disturbed or degraded by human activities and developments. Also, an area designated by the City as approved by the Regional Water Quality Control Board.

**Maintenance Agreement and Transfer:** All developments subject to LID and site specific plan requirements provide verification of maintenance provisions for Structural and Treatment Control BMPs, including but not limited to legal agreements, covenants, CEQA mitigation requirements, and/or conditional use permits. Verification at a minimum shall include:

- The developer's and/or owner's signed statement accepting responsibility for maintenance until the responsibility is legally transferred; and
- A signed statement from the public entity assuming responsibility for Structural or Treatment Control BMP maintenance and conduct a maintenance inspection at least once a year; or
- Written conditions in the sales or lease agreement, which requires the recipient to assume responsibility for maintenance and conduct a maintenance inspection at least once a year; or
- Written text in project conditions, covenants and restrictions (CCRs) for residential properties assigning maintenance responsibilities to the Home Owners Association for maintenance of the Structural and Treatment Control BMPs; or
- Any other legally enforceable agreement that assigns responsibility for the maintenance of post-construction Structural or Treatment Control BMPs.

**DEVELOPMENT REVIEW (DR)**  
**Department Comments –**

~~CONFIDENTIAL - THIS DOCUMENT IS FOR OFFICIAL USE ONLY~~

----- Planning                      ----- Traffic Engineer                      ----- <sup>X</sup> Public Works  
----- Fire Department                      ----- Sheriff's Department                      ----- CR&R  
----- School District                      ----- Water Company                      ----- Stormwater Consultant  
----- Building and Safety

**DR 2-18-8742**      -      **Request to allow a drive-through in conjunction with the construction of a new 3,878 square foot building for a restaurant use within the Design for Development for the South Bellflower Commercial Area (DFD) on property located at 17325 Bellflower Blvd**

- I have reviewed the provided documents and have no comments or concerns.  
 I have reviewed the provided documents and attached my comments/conditions.

SCOTT JONES   
Signature

2/28/18  
Date

RECEIVED  
2-2-18

**Date:** March 6, 2018

**TO:** Rowena Genilo-Concepcion, Interim Director of Planning and Building Services

**FROM:** Jerry Stock, City Engineer

**SUBJECT:** DR 2-18-8742, 17325 Bellflower Boulevard

I have reviewed the area in question and the following deficiencies in land development as they pertained to public right-of-way were noted. Any existing damaged public right-of-way improvements shall be repaired in accordance with Section 5600 et seq of the California Streets and Highways Code and with the Bellflower Municipal Code before occupancy will be granted. (Property owner is responsible for the repair and maintenance of curb/gutter, sidewalk and drive apron).

#### **TRAFFIC ENGINEERING**

The site plan shall show the location and dimensions of all existing and proposed drive approaches.

The site plan shows the prior and the new right of way fronting Bellflower Blvd. The site plan shall be revised accordingly to note prior and new right of way.

The site plan shall show all existing right of way improvements.

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The site plan shall provide driveway dimensions at all angle points and any proposed radii. Dimensions and curb radii shall also be shown for the proposed drive through.

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All drive approaches shall be designated right turn in/right turn out only.

The site plan shall show the designated disabled access path from the public right of way.

The site plan shall show and dimension the on-site loading zone.

The site plan shall include a table showing on-site parking required and on-site parking provided.

### **CITY ENGINEERING**

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The site plan shall show and dimension all easements.

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The applicant shall contact the local Water Company to determine the existing fire flow rate in this area. If the existing fire flow capabilities are below the required minimum, the applicant shall provide the necessary means for meeting the fire flow rates required by the Fire Department.

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A legal description was submitted. However the Title Report provided has a commitment date of Feb. 21, 2017 and does not reflect a lot line adjustment recorded Nov. 8, 2017.

The ALTA survey provided is dated April 20, 2017 and does not reflect the current conditions following a lot line adjustment that was recorded Nov. 8, 2017.

The site plan shall show and dimension all existing and proposed perimeter walls/fences.

A photo metrics plan for parking lot lighting is required.

There are three (3) existing driveway aprons located along Artesia Boulevard:

1. The westerly most driveway apron shall be removed and reconstructed per current City of Bellflower Standards (Standard Plan BSP-02 – Commercial).
2. & 3. The middle and easterly driveway aprons shall be removed and the sidewalk, curb & gutter reconstructed full parkway width.

A fourth (4) driveway apron located at the northwest corner of the site fronting Beverly Street shall be removed and the sidewalk, curb & gutter reconstructed full parkway width.

**NOTE: A "C-8" OR AN "A" LICENSED CONTRACTOR SHALL APPLY FOR A CITY OF BELLFLOWER RIGHT OF WAY PERMIT TO PERFORM ALL LISTED RIGHT OF WAY IMPROVEMENTS.**

**CLASS B (GENERAL BUILDING) CONTRACTORS WILL NOT BE APPROVED FOR PERMIT ISSUANCE TO PERFORM THIS TYPE OF WORK WITHIN THE PUBLIC RIGHT OF WAY.**

Curb & gutter shall be removed and reconstructed corresponding to the reconstructed driveway apron. Curb & gutter corresponding to the three (3) abandoned driveway aprons shall be removed and reconstructed in accordance with City of Bellflower standards. Note: Curb and gutter shall be monolithic.

An on-site sanitary sewer lateral shall be constructed to service the property. The minimum lateral size from main to property line is 6". Excavation permits with necessary insurance and bonds are required.

For any new sewer connections please contact the Los Angeles County Sanitation District and obtain any connection permits. Documentation of said permits shall be submitted to the Building Official prior to the issuance of any building permits. Provide documentation from the District that sufficient sewer capacity is provided.

A City of Bellflower Sewer Reconstruction fee in the amount of \$12,096.00 shall be paid to the City of Bellflower.

Un-sodded, mounded planters adjacent to public sidewalk shall be provided with 6" curbs to prevent soil run-off onto the public sidewalk. Curbs are not required if the planter consists of sod.

The contractor shall meet with the City Public Works Inspector before starting any construction within the public right-of-way.

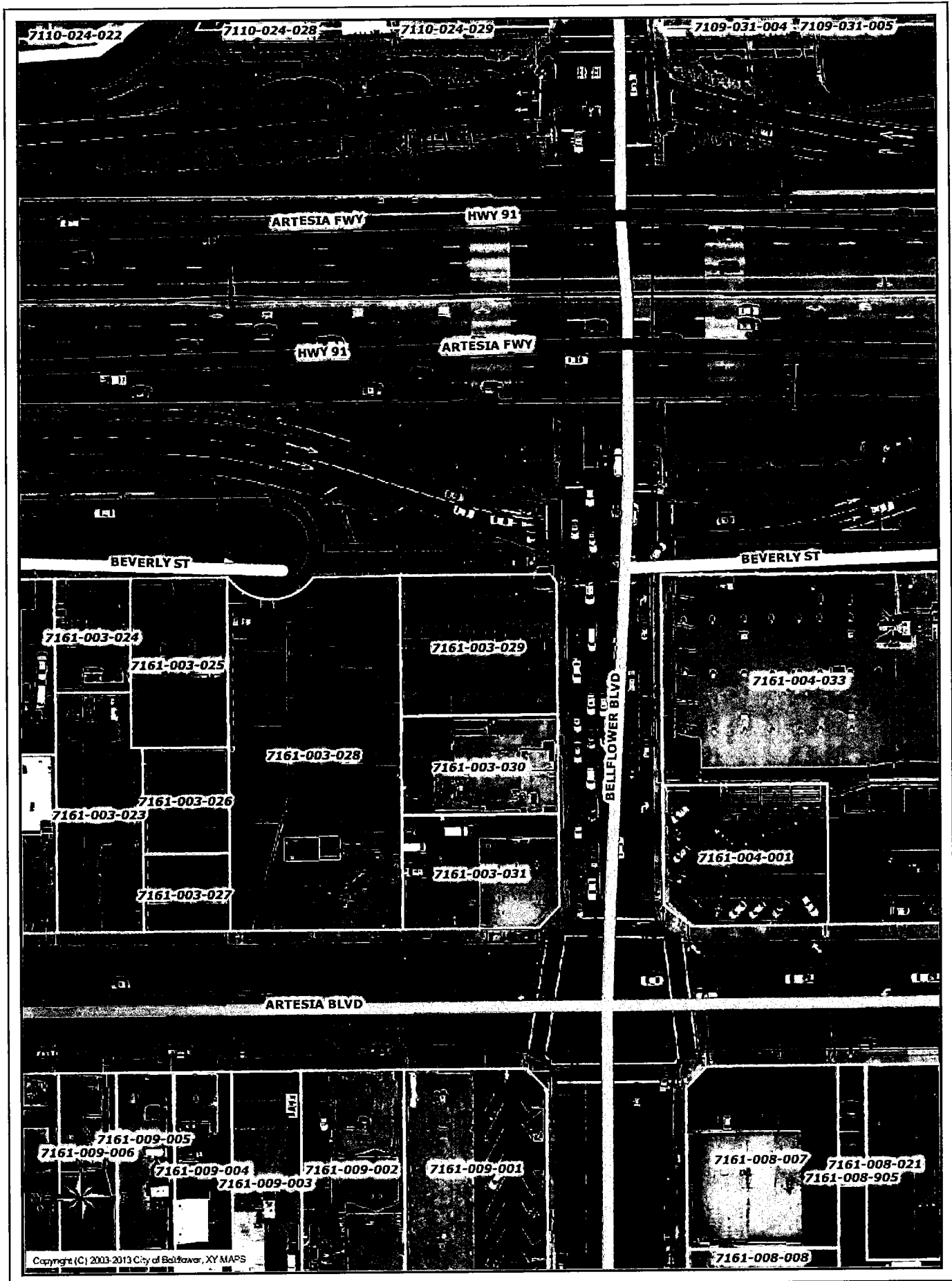
All work within the public right-of-way, including placing and removal of traffic control devices, shall be restricted to the hours between 8:30 A.M. and 3:30 P.M., Monday through Friday. No work requiring continuous inspection or traffic control shall be done on Saturday, Sunday or Holidays, unless prior arrangements have been made at least one week in advance with the approval of the City Engineer.

The developer, at his/her cost, shall be responsible for the relocation as necessary of any public or private utility or other obstruction to facilitate the construction within the public right-of-way.

PERMITS ARE REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY

**Attachment D**  
Aerial, Assessor's Map, Zoning Map and General  
Plan Map



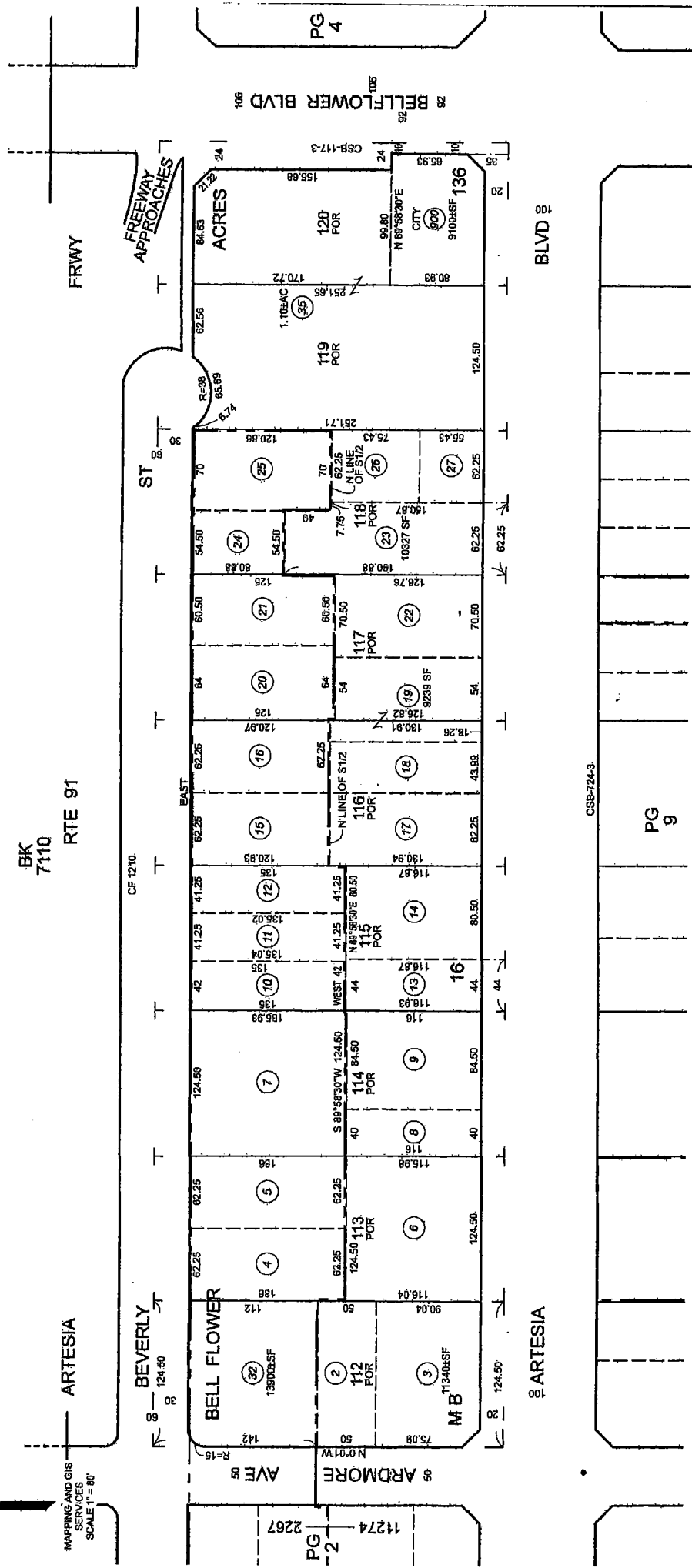


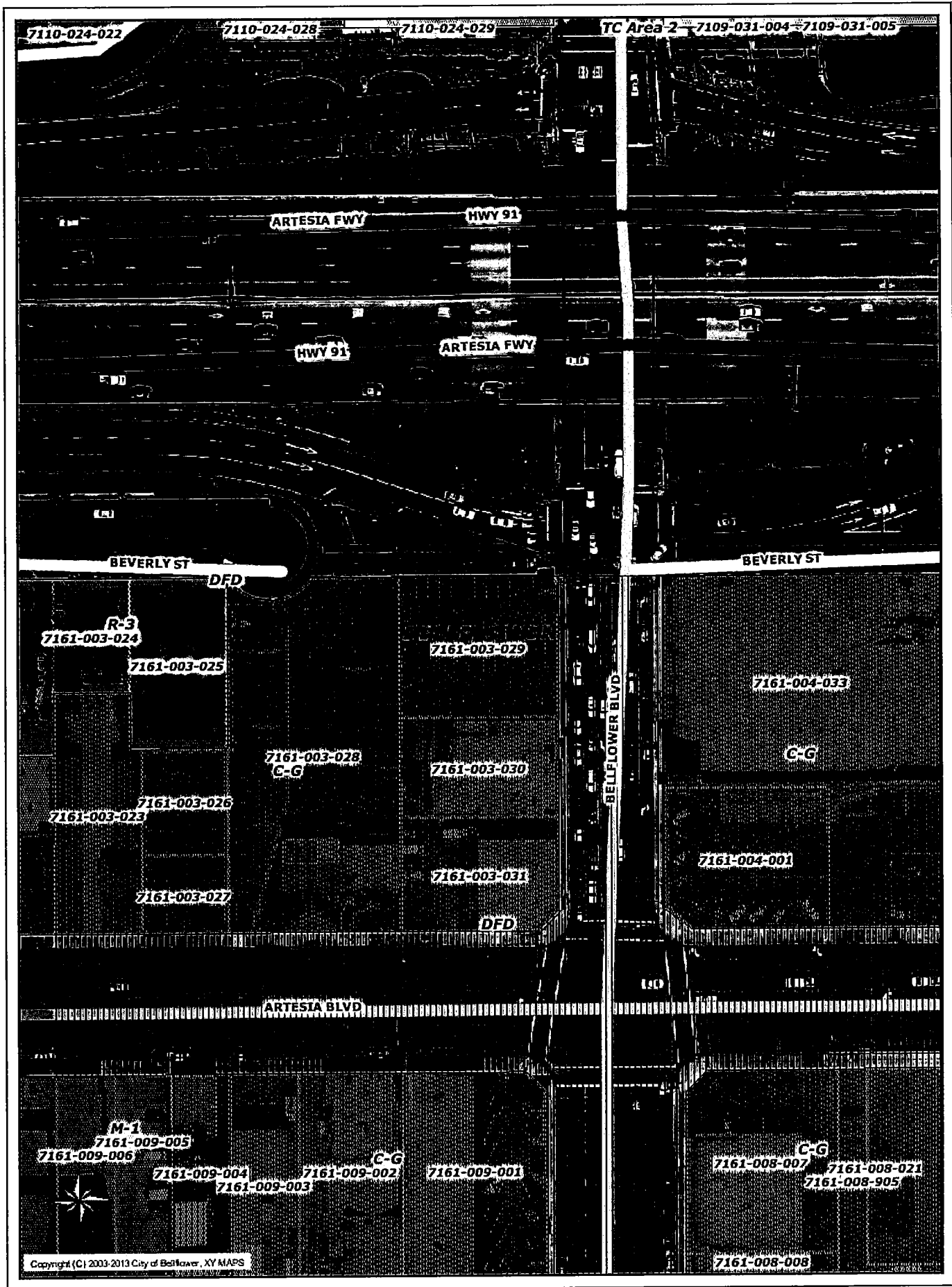
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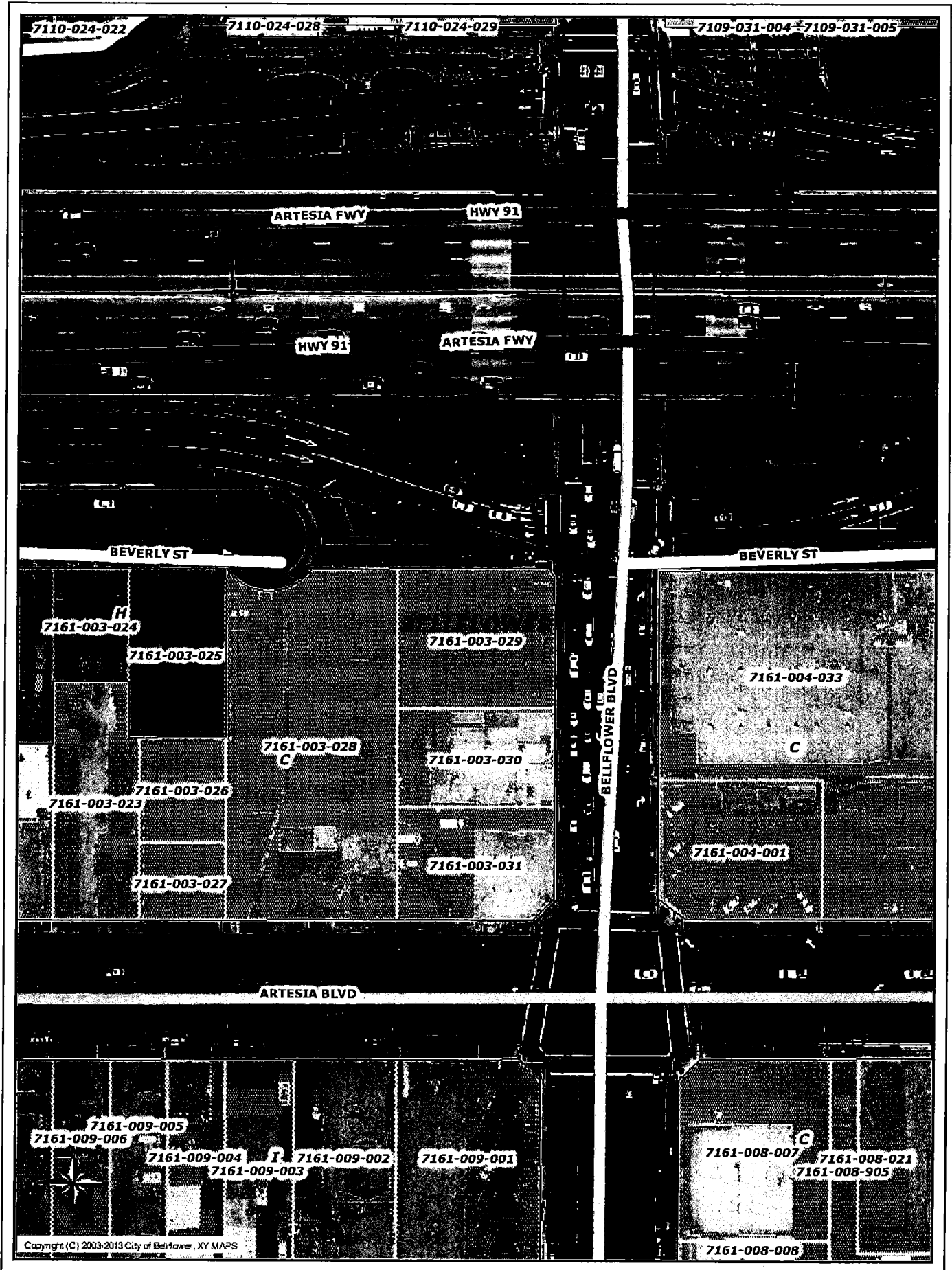
2018



MAPPING AND GIS SERVICES  
SCALE 1" = 80'







**Attachment E**  
Traffic Impact Memorandum and Traffic Impact  
Analysis

**See Planning  
Department at 16600  
Civic Center Drive,  
Bellflower CA 90706  
to review  
Traffic Impact  
Memorandum and  
Traffic Impact  
Analysis**

**Attachment F**  
Phase I Environmental Site Assessment Update

**See Planning  
Department at 16600  
Civic Center Drive,  
Bellflower CA 90706  
to review  
Phase I  
Environmental Site  
Assessment Update**



**Attachment G**  
CR&R Trash Agreement

## In-N-Out, trash service and delivery

In N Out will be using their own (Verti-pak "Side Channel" compactor) 2yd bins which are industry standard for approx 3:1 payload so CR&R will charge accordingly at a 3:1 rate. As well, "In & Out" will have their Associate Employees pulling these Verti-pak bins out of the enclosures and staging them for CR&R driver to service and the Associate will replace the bin(s) after servicing – CR&R will not be charging for any Scout or Pull Out services on this account.

CR&R will absolutely strive to service these containers early in the day prior to the store opening and the parking lot filling up with customers (though CR&R does NOT guarantee any service times due to breakdowns, unforeseen conditions and time delays that are out of our control).

The CR&R Route Manager will make sure to coordinate the service times with In-N-Out Associates. CR&R would like to do a test run on the containers to make sure they fit our "side-channel" forks, once they are at the new location and will then discuss the best service times and any particulars to set up and begin services.

CR&R has no other concerns, comments or issues with the enclosure as proposed and approves of the enclosure design.

**Attachment H**  
**Correspondences**

## Jason Phillip Clarke

---

**From:** Asbury Properties <asbury.properties@yahoo.com>  
**Sent:** Sunday, May 27, 2018 3:57 PM  
**To:** Jason Phillip Clarke  
**Subject:** In-N-Out freeway sign

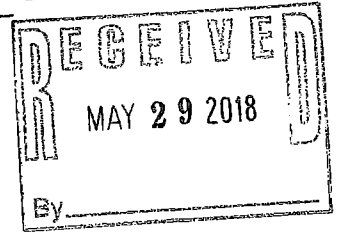
**Categories:** follow up

Jason,

Can you please let me know if the above referenced proposed freeway sign will in anyway impact the visibility of our existing Golden Corral freeway sign on Beverly Blvd near Bellflower Blvd, and are there plans available or being planned that show its impact?

Thanks,  
Steven Suard  
Asbury Properties, Inc.  
323-658-5443

From: Thomas Motel 9731 Artesia BL  
City of Bellflower, CA - 90706  
Email: ALLmotel@yahoo.com



To: City of Bellflower

FILE

Dear, city

This is Thakor Patel and Rajan Patel owner of Thomas Motel, we have

Issues for next lot of our hotel is

currently ~~up~~ <sup>and down</sup> going on construction

noise and Pollution and heavy truck

traffic and shaking our building

and disturbing our guest who staying our

hotel now and ~~is~~ for that reason we are losing our business. we have ~~st~~ remain

hard time going on now so please

help us. we are doing our Motel  
business with you since 1947 over 71  
years. If there is In road restaurant

coming then they do ~~have~~ heavy traffic

and noise and pollution for us and  
our guest who staying with us for long  
time business and even it's <sup>Freeway</sup> Exit lot

So traffic gonna be heavy then  
now ~~every~~ ~~day~~ our city has on  
that lot, we need something else

then drive thru restaurants that  
not make noise and ~~avoid~~ traffic

So please except our this write  
able notice or as request from us

Thank you

Rajon Patel (323) 440-0917

## **Attachment I**

Project Documents Submitted by Applicant  
(Including, operation, project plans, sign plans, etc.)

13502 Hamburger Lane  
Baldwin Park, Ca 91706-5885  
626-813-8200



The Best Enterprise  
Is A Free Enterprise™

---

**PROPOSED IN-N-OUT BURGER RESTAURANT  
17325 Bellflower Boulevard  
PROJECT NARRATIVE**

In 1948, Harry and Esther Snyder opened the first In-N-Out Burger. They served the freshest burgers, coolest shakes and the hottest fries in a friendly, sparkling clean atmosphere and times have not changed at In-N-Out. The menu is still the same basic menu our guests have enjoyed since 1948 and, we've been serving everything up the same exact way: fresh, made to order, and with only the freshest ingredients.

In-N-Out Burger is proposing to develop the property located at the NWC of Bellflower Blvd & Artesia Blvd., in the City of Bellflower with a new In-N-Out Burger restaurant with a drive-through.

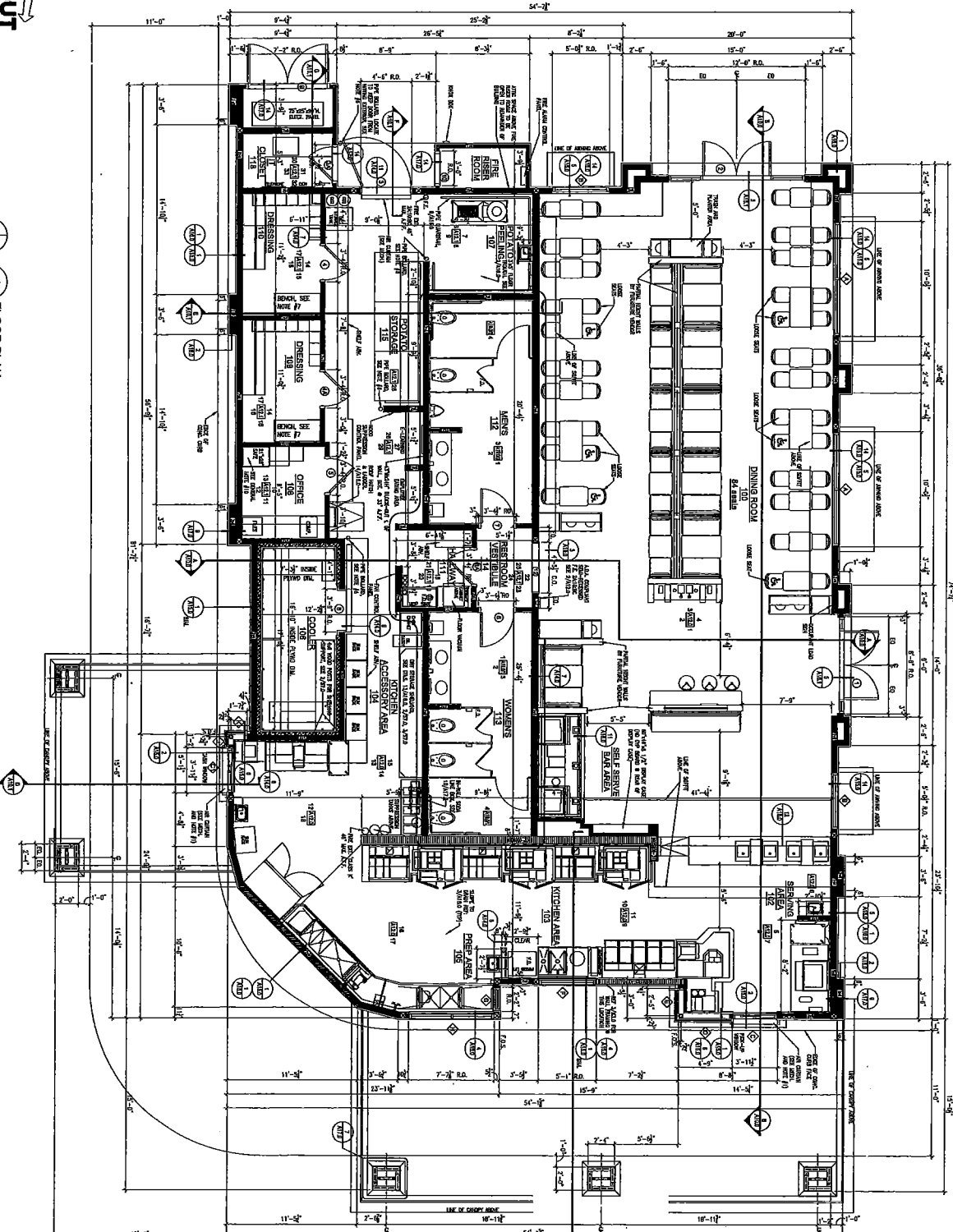
Our proposed restaurant will be 3,878 square feet with indoor seating for +/- 82 guests and outdoor seating for +/- 32 guests. The site will be well landscaped and will include a 440 square foot covered trash enclosure, a drive-through with a minimum +/- 20 car queue, and onsite parking for +/- 68 guest cars.

Our proposed restaurant hours of operation are Sunday thru Thursday from 10:30am to 1:00am and Friday & Saturday from 10:30am to 1:30am. Our restaurants typically have about 10-15 associates including manager(s) per shift at about (3) shifts per day.









**ACCESSIBLE SIGNAGE NOTES**

1. SIGNAGE SHALL BE 18" HIGH AND 12" WIDE. SIGNAGE SHALL BE 1/2" THICK AND SHALL BE MADE OF ALUMINUM OR STAINLESS STEEL. SIGNAGE SHALL BE MOUNTED TO THE WALL OR CEILING. SIGNAGE SHALL BE 1/2" FROM THE WALL OR CEILING. SIGNAGE SHALL BE 1/2" FROM THE WALL OR CEILING.
2. SIGNAGE SHALL BE 18" HIGH AND 12" WIDE. SIGNAGE SHALL BE 1/2" THICK AND SHALL BE MADE OF ALUMINUM OR STAINLESS STEEL. SIGNAGE SHALL BE MOUNTED TO THE WALL OR CEILING. SIGNAGE SHALL BE 1/2" FROM THE WALL OR CEILING. SIGNAGE SHALL BE 1/2" FROM THE WALL OR CEILING.
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**INTERNATIONAL SYMBOL OF ACCESSIBILITY/TACTILE EGRESS SIGNAGE**  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

1. PROVIDE ALL SIGNAGE WITH 1/2" CLEARANCE FROM WALL, CEILING OR FLOOR.
2. PROVIDE ALL SIGNAGE WITH 1/2" CLEARANCE FROM WALL, CEILING OR FLOOR.
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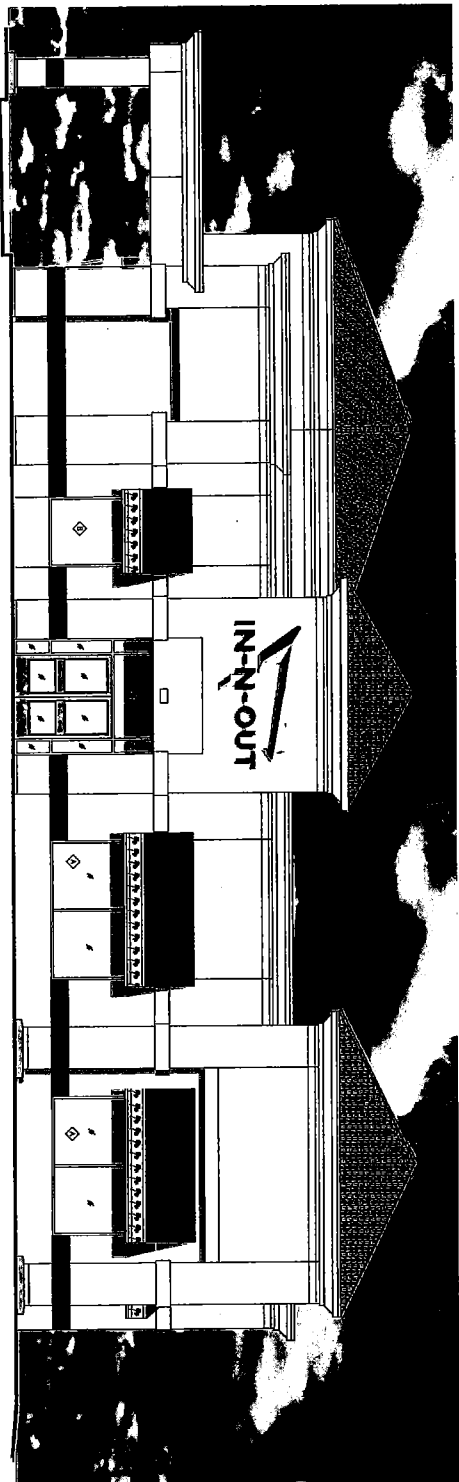
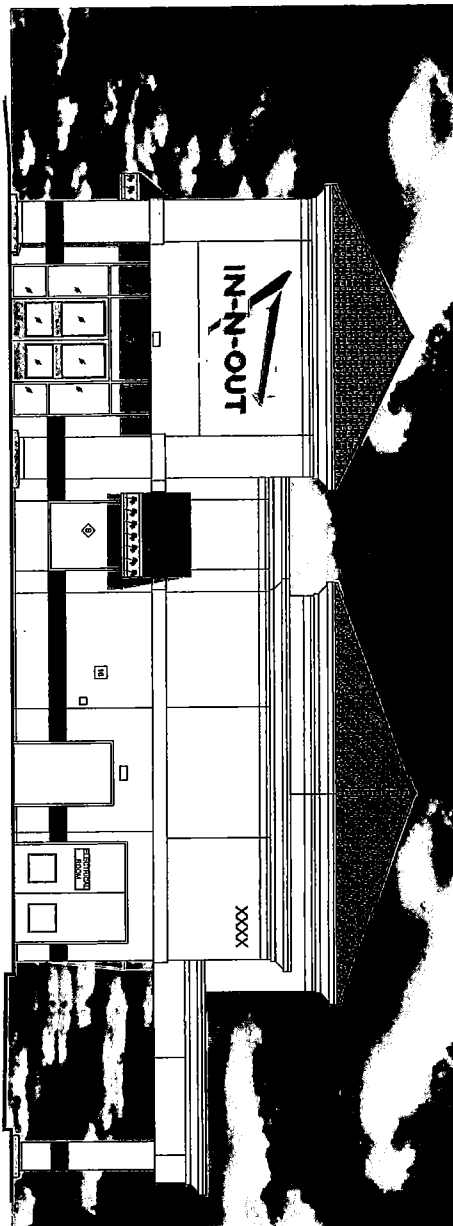


SCALE: 1/4" = 1'-0"

**IN-N-OUT BURGER**  
GOO BISS ARCHITECT







ELEVATIONS-1

BELLFLOWER, CA

**IN-N-OUT**  
BURGER

000 BLESS AMERICA  
13802 HANBINGER LANE  
BALDWIN PARK, CA 91706

THE INFORMATION, DRAWINGS AND SPECIFICATIONS SHOWN ARE AND SHALL REMAIN THE PROPERTY OF IN-N-OUT BURGER.  
SHEET OF 1  
THESE DOCUMENTS MAY NOT BE USED WITHOUT THE EXPRESS WRITTEN CONSENT OF IN-N-OUT BURGER.



NO. CABELLFLOWER  
(EXISTING STRIP CENTER DEMO)



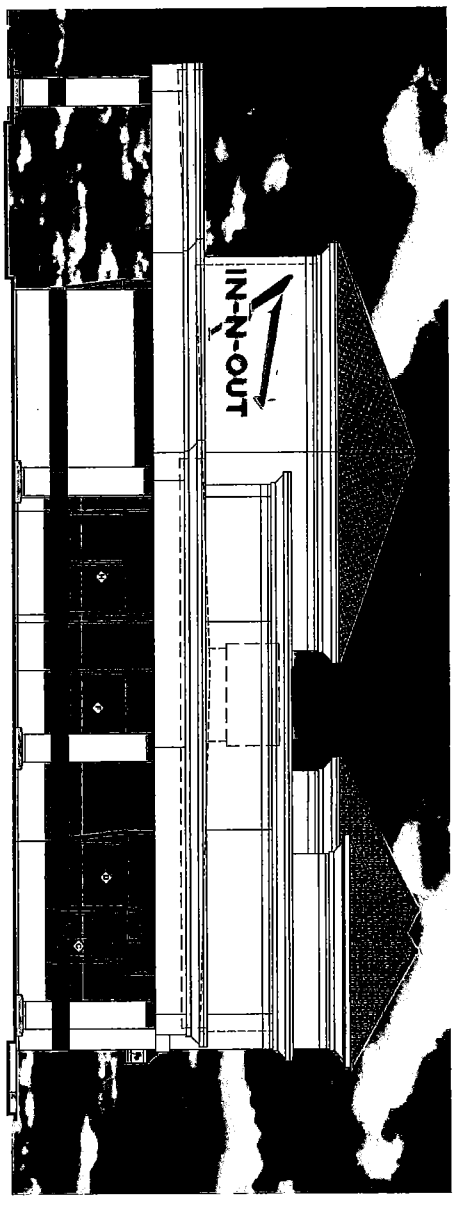
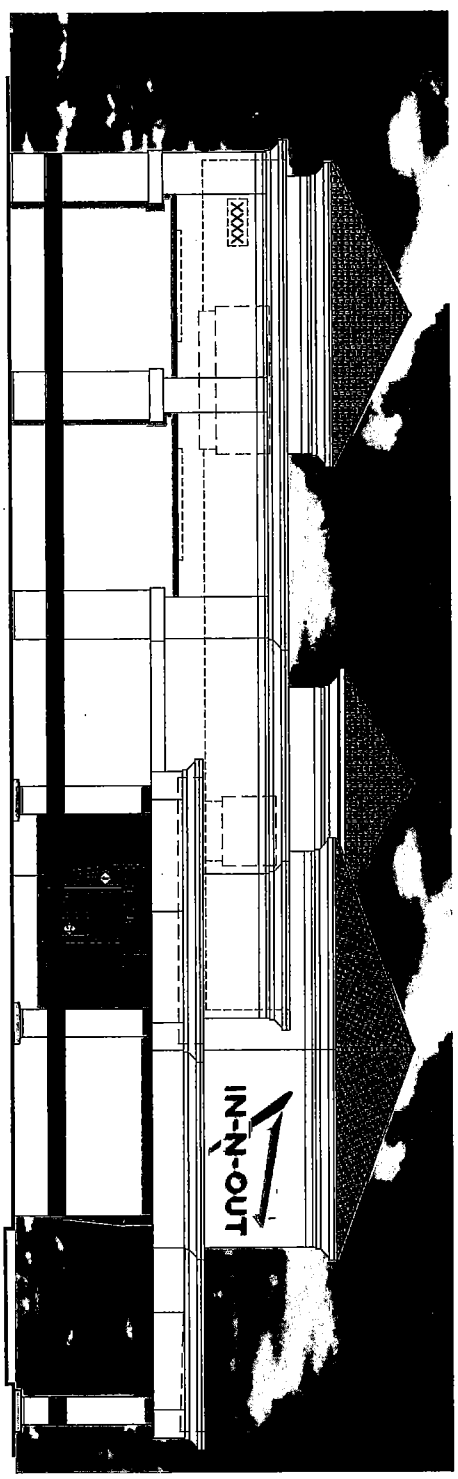


13902 HARBINGER LANE  
 BAYVIEW PARK, CA 91706

**ELEVATIONS 2**

SHEET OF 1

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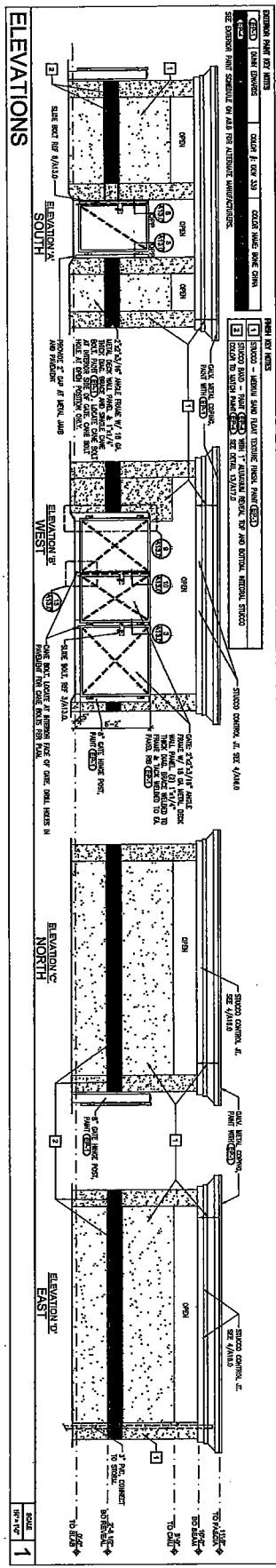
BELLFLOWER, CA

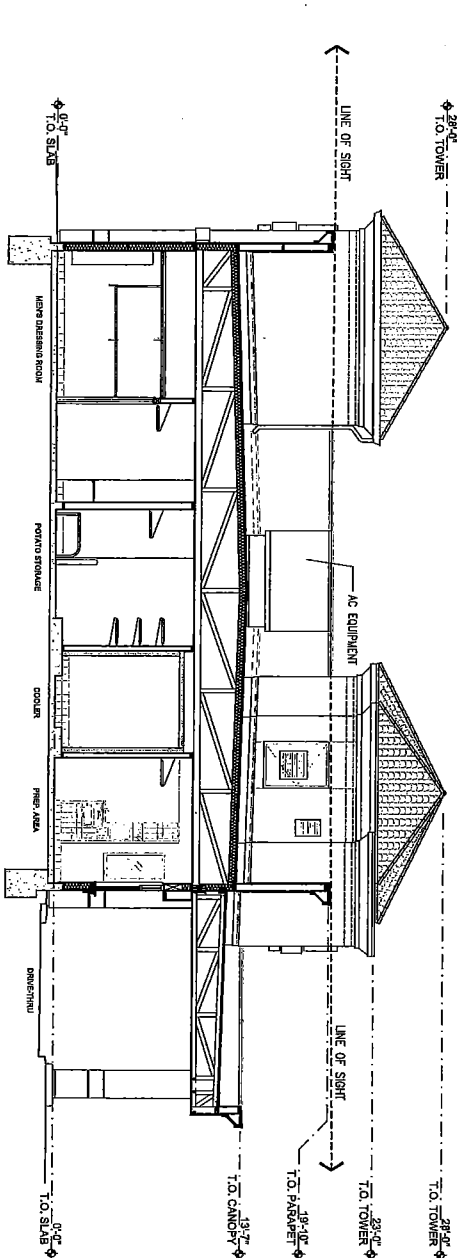
INO CABELLFLOWER  
 (PRINTING CENTER CENTER FRONT)

(7325 BELLFLOWER BLVD.) BELLFLOWER, CA

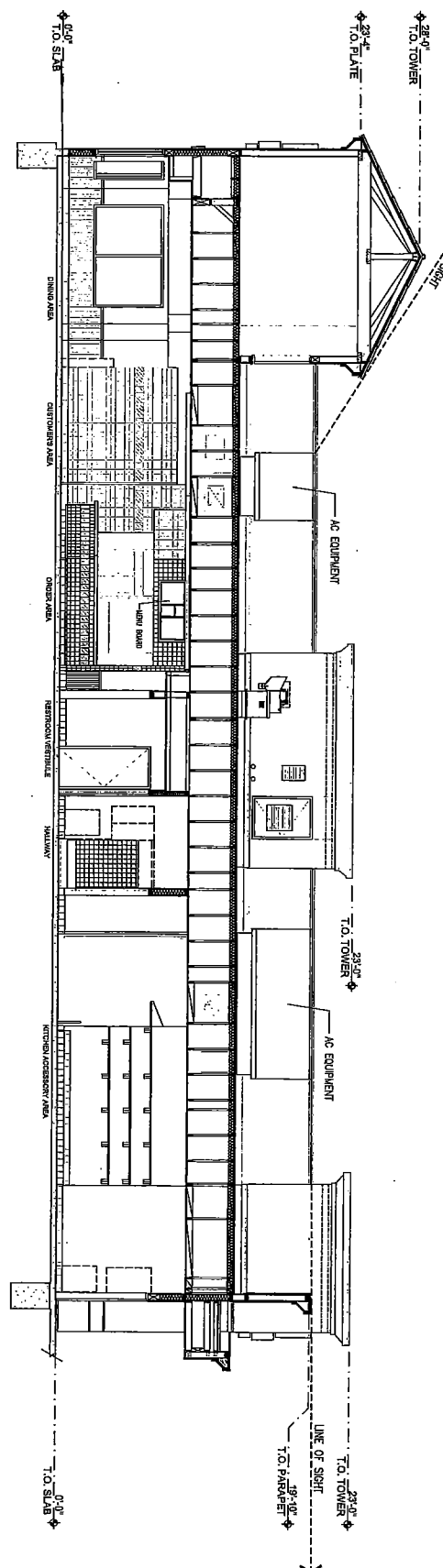








**BUILDING CROSS SECTION**  
 SCALE: 1/8" = 1'-0"



**BUILDING SECTION**  
 SCALE: 1/8" = 1'-0"



Architecture / Development

1401 Oakton Drive

Suite 200

Spring Hill, TN 37074

PH: 615.255.8888

FAX: 615.255.8888

WWW.GIIA.COM

DATE: 04/14/2016

BY: GIIA/MP/ML

FILE: 04\_14\_16\_MP/ML

PROJECT: 16-0000

REVISION RECORD

NO. DESCRIPTION

DATE

BY

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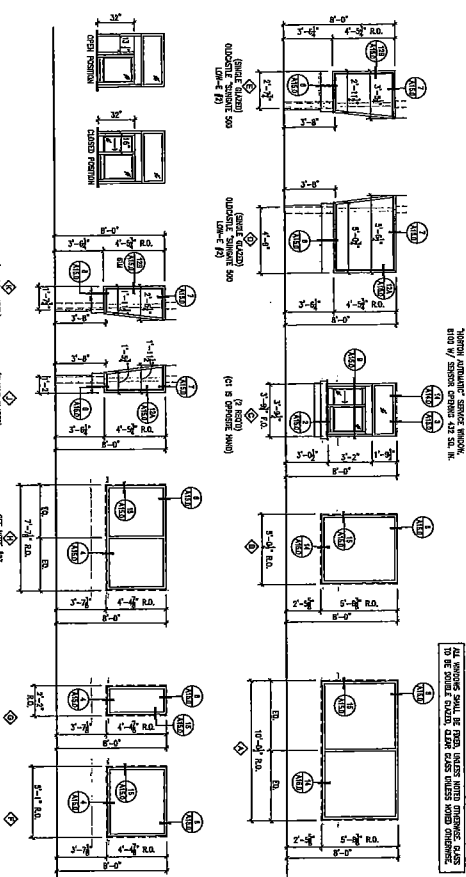
**IN-N-OUT**  
 BURGER®

GOD BLESS AMERICA

PROJECT NUMBER  
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PROJECT TITLE  
 BUILDING SITE LINE  
 STUDY

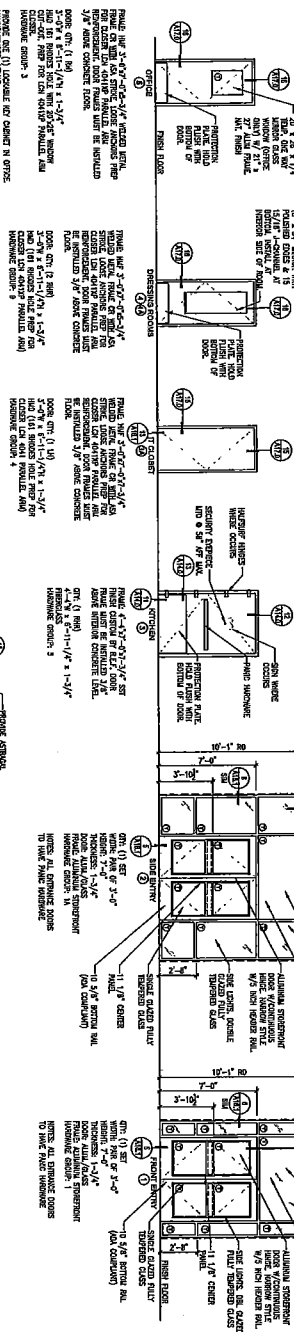
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**A10.0**



ALL WINDOWS SHALL BE TYPICAL UNLESS OTHERWISE SHOWN TO BE OTHERWISE. ALL DOORS SHALL BE TYPICAL UNLESS OTHERWISE SHOWN TO BE OTHERWISE.

**WINDOW SCHEDULE**

NOTE: WINDOW SCHEDULE TO BE USED IN CONJUNCTION WITH THE WINDOW DETAIL DRAWINGS TO BE PROVIDED BY THE ARCHITECT.



NOTE: DOOR SCHEDULE TO BE USED IN CONJUNCTION WITH THE DOOR DETAIL DRAWINGS TO BE PROVIDED BY THE ARCHITECT.

**DOOR SCHEDULE**

NO.	DESCRIPTION	FINISH	GLASS	GLASS TYPE	GLASS THICKNESS	GLASS WEIGHT	GLASS AREA	GLASS WEIGHT	GLASS AREA	GLASS WEIGHT	GLASS AREA
1	WOOD DOOR	WOOD	GLASS	GLASS	GLASS	GLASS	GLASS	GLASS	GLASS	GLASS	GLASS
2	GLASS DOOR	GLASS	GLASS	GLASS	GLASS	GLASS	GLASS	GLASS	GLASS	GLASS	GLASS
3	METAL DOOR	METAL	GLASS	GLASS	GLASS	GLASS	GLASS	GLASS	GLASS	GLASS	GLASS

**NOTES**

1. ALL WINDOWS SHALL BE TYPICAL UNLESS OTHERWISE SHOWN TO BE OTHERWISE.
2. ALL DOORS SHALL BE TYPICAL UNLESS OTHERWISE SHOWN TO BE OTHERWISE.
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**GHIA**  
 Architecture / Development  
 1481 Quince St.  
 Suite 300 - 704  
 Los Angeles, CA 90012  
 Tel: 213.697.2200  
 Fax: 213.697.2201  
 www.ghia.com

**IN-N-OUT BURGER**  
 9745 Alhambra Blvd.  
 Bellflower, CA 90708

**PROJECT NUMBER**  
 178723

**PROJECT NAME**  
 IN-N-OUT BURGER

**ARCHITECT**  
 GHIA

**DATE**  
 10/17/2007

**SCALE**  
 AS SHOWN

**PROJECT LOCATION**  
 9745 Alhambra Blvd.  
 Bellflower, CA 90708

**PROJECT NUMBER**  
 A11.0

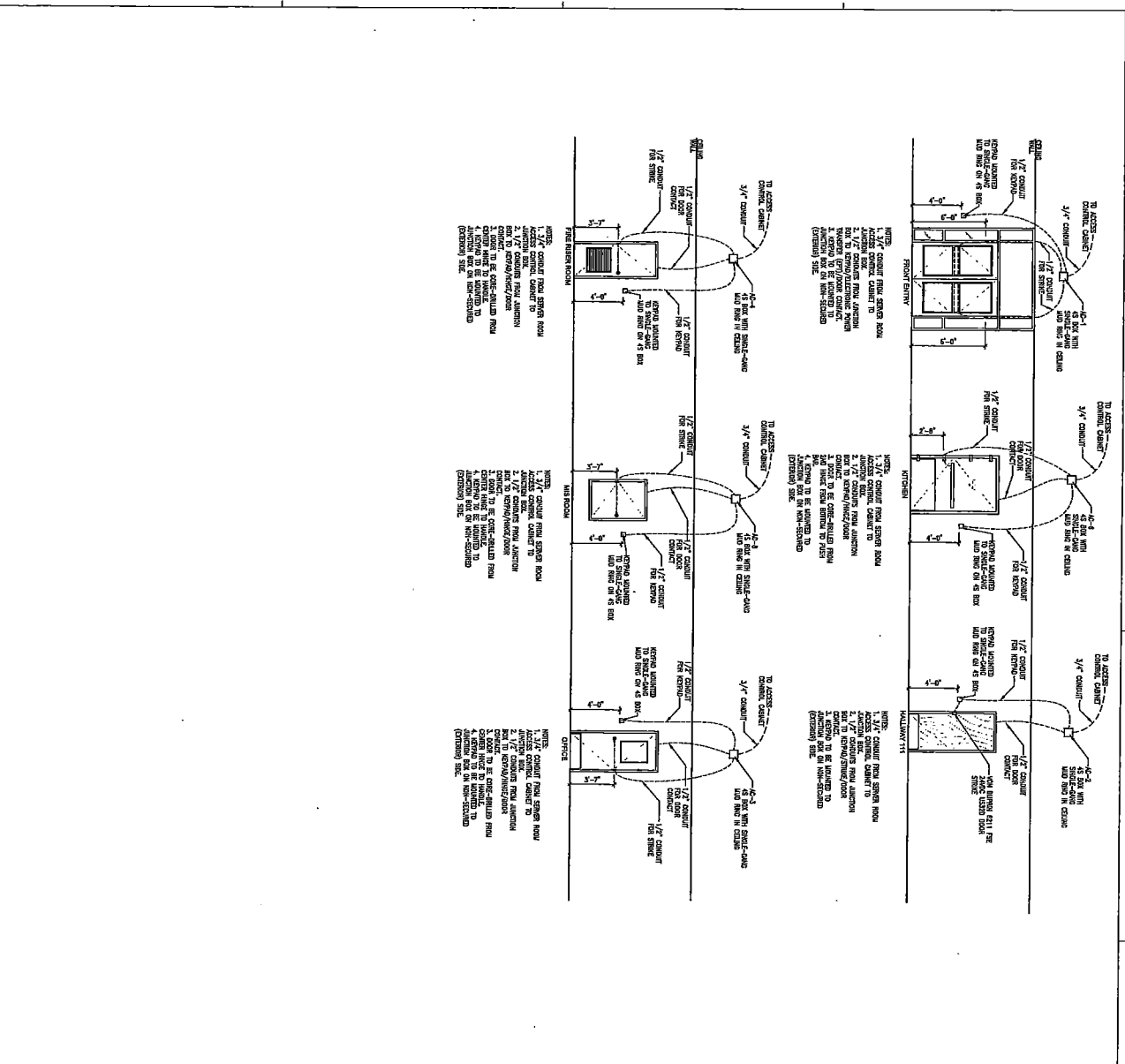
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**ARCHITECT**  
 GHIA

**DATE**  
 10/17/2007

**SCALE**  
 AS SHOWN

**PROJECT LOCATION**  
 9745 Alhambra Blvd.  
 Bellflower, CA 90708



NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	FRONT ENTRY DOOR	1	EA	150.00	150.00
2	KITCHEN DOOR	1	EA	150.00	150.00
3	OFFICE DOOR	1	EA	150.00	150.00
4	FRONT ENTRY WINDOW	1	EA	100.00	100.00
5	KITCHEN WINDOW	1	EA	100.00	100.00
6	OFFICE WINDOW	1	EA	100.00	100.00
7	FRONT ENTRY SILL	1	EA	50.00	50.00
8	KITCHEN SILL	1	EA	50.00	50.00
9	OFFICE SILL	1	EA	50.00	50.00
10	FRONT ENTRY CASE	1	EA	100.00	100.00
11	KITCHEN CASE	1	EA	100.00	100.00
12	OFFICE CASE	1	EA	100.00	100.00
13	FRONT ENTRY TRIM	1	EA	50.00	50.00
14	KITCHEN TRIM	1	EA	50.00	50.00
15	OFFICE TRIM	1	EA	50.00	50.00
16	FRONT ENTRY GLASS	1	EA	100.00	100.00
17	KITCHEN GLASS	1	EA	100.00	100.00
18	OFFICE GLASS	1	EA	100.00	100.00
19	FRONT ENTRY LOCK	1	EA	50.00	50.00
20	KITCHEN LOCK	1	EA	50.00	50.00
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46	FRONT ENTRY GLASS	1	EA	100.00	100.00
47	KITCHEN GLASS	1	EA	100.00	100.00
48	OFFICE GLASS	1	EA	100.00	100.00
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100	FRONT ENTRY GLASS	1	EA	100.00	100.00

**GIJA**  
Architectural Development

1480 Quince Orchard Rd.  
Suite 300 • Gaithersburg, MD 20878  
Phone: 301.281.1111  
Fax: 301.281.1112  
www.gija.com

**PERMIT RECORD**  
DATE: 04/20/2011  
PROJECT: 110828  
SHEET: 110828

**HARDWARE SCHEDULE**

**IN-N-OUT BURGERS**  
7745 Arden Blvd.  
Baltimore, MD 21208

**PROFESSIONAL SEAL**

**GENERAL NOTES**

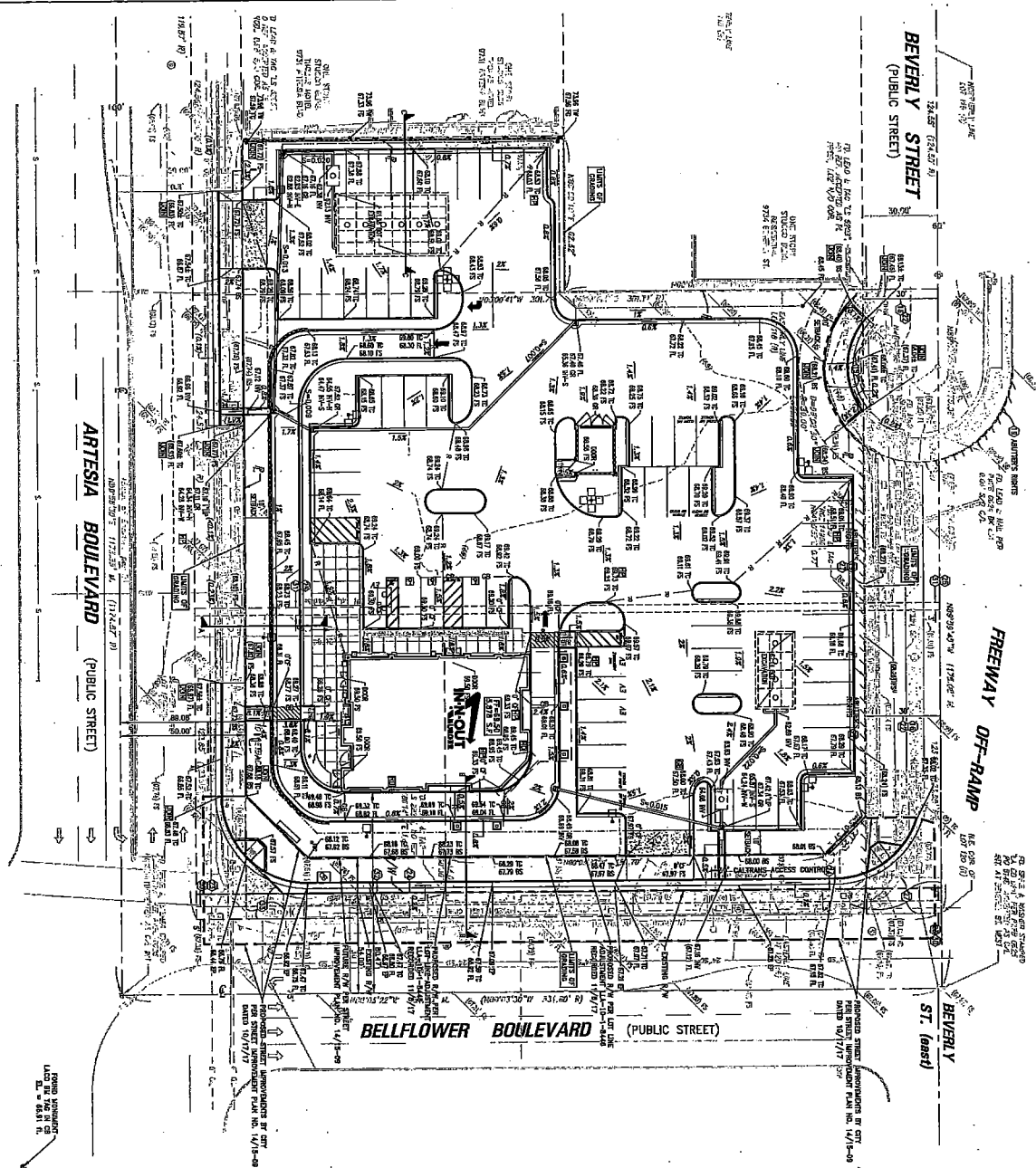
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**PROJECT NUMBER**  
110828

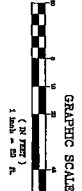
**SHEET NUMBER**  
A11.1







- LEGEND**
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**PRELIMINARY**

THIS PLAN IS NOT FOR CONSTRUCTION.

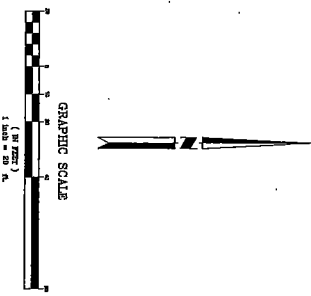
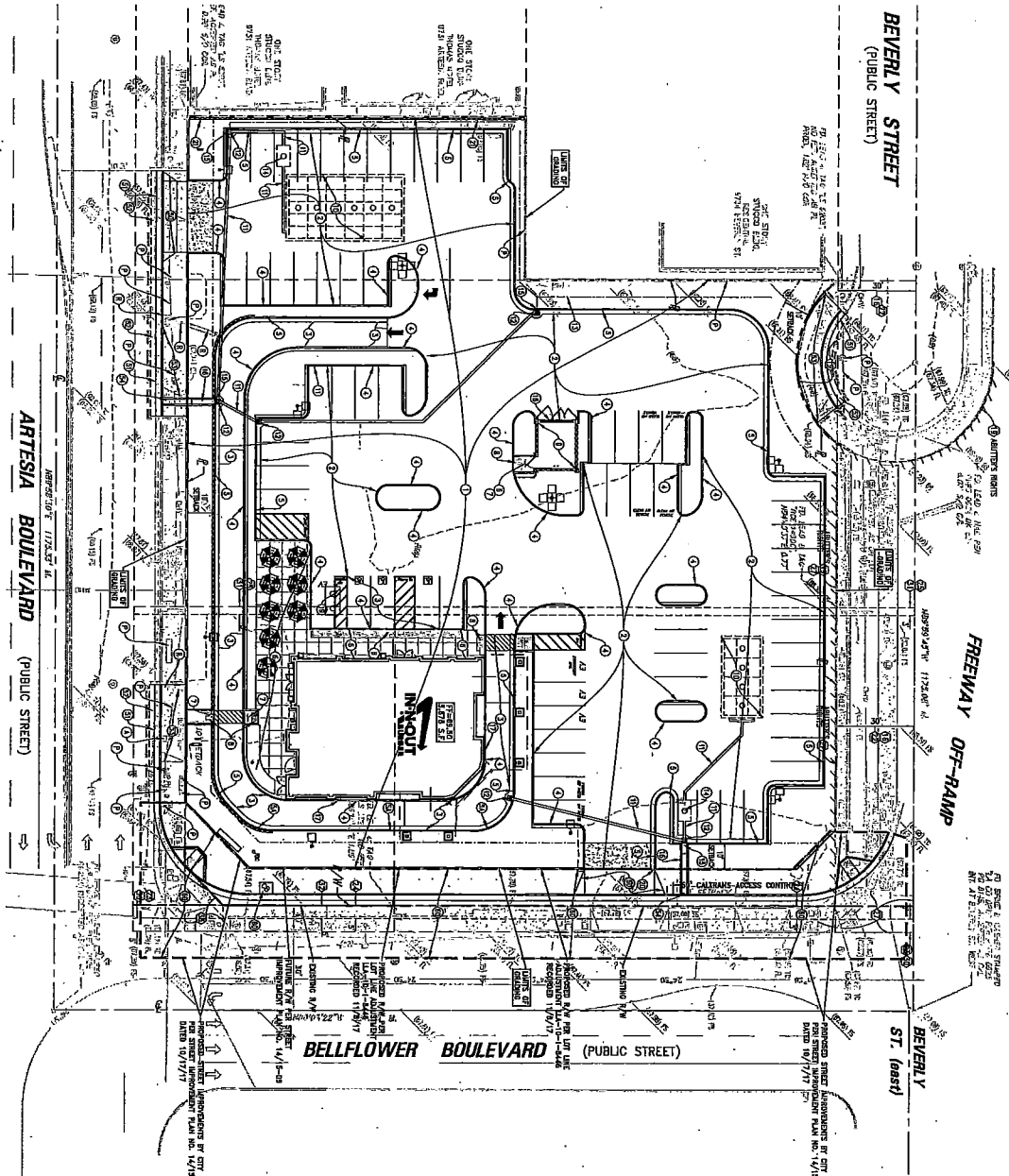
**CONCEPTUAL GRADING PLAN**  
**IN-N-OUT BURGER**  
 17325 BELLFLOWER BLVD.  
 IN THE CITY OF BELLFLOWER, STATE OF CALIFORNIA



Prepared by:  
**Joseph C. Truxaw and Associates, Inc.**  
 Civil Engineers and Land Surveyors  
 285 S. Anhe Dr., Suite 111, Orange, CA. 92668 (714)835-0265 fax: (714)835-0106

NO.	REVISIONS	DATE

DATE: 4-26-18  
 DRAWN BY: PJS  
 CHECKED BY: JCS  
 INCHES: 1/8" = 1'-0"  
 SHEET NO.: 2  
 OF 4 SHEETS



**CONSTRUCTION NOTES**

1. EXISTING DRIVEWAY TO BE RECONSTRUCTED WITH 4" CONC. ON 8" ASPHALT.
2. EXISTING DRIVEWAY TO BE RECONSTRUCTED WITH 4" CONC. ON 8" ASPHALT.
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20. EXISTING DRIVEWAY TO BE RECONSTRUCTED WITH 4" CONC. ON 8" ASPHALT.

**OFFSITE CONSTRUCTION NOTES**

1. EXISTING DRIVEWAY TO BE RECONSTRUCTED WITH 4" CONC. ON 8" ASPHALT.
2. EXISTING DRIVEWAY TO BE RECONSTRUCTED WITH 4" CONC. ON 8" ASPHALT.
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18. EXISTING DRIVEWAY TO BE RECONSTRUCTED WITH 4" CONC. ON 8" ASPHALT.
19. EXISTING DRIVEWAY TO BE RECONSTRUCTED WITH 4" CONC. ON 8" ASPHALT.
20. EXISTING DRIVEWAY TO BE RECONSTRUCTED WITH 4" CONC. ON 8" ASPHALT.

**PRELIMINARY**

THIS PLAN IS: PRELIMINARY (NOT FOR CONSTRUCTION)

ADDITIONAL NOTES:  
 1. EXISTING DRIVEWAY TO BE RECONSTRUCTED WITH 4" CONC. ON 8" ASPHALT.  
 2. EXISTING DRIVEWAY TO BE RECONSTRUCTED WITH 4" CONC. ON 8" ASPHALT.  
 3. EXISTING DRIVEWAY TO BE RECONSTRUCTED WITH 4" CONC. ON 8" ASPHALT.  
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 18. EXISTING DRIVEWAY TO BE RECONSTRUCTED WITH 4" CONC. ON 8" ASPHALT.  
 19. EXISTING DRIVEWAY TO BE RECONSTRUCTED WITH 4" CONC. ON 8" ASPHALT.  
 20. EXISTING DRIVEWAY TO BE RECONSTRUCTED WITH 4" CONC. ON 8" ASPHALT.

**CONSTRUCTION NOTES**

IN-N-OUT BURGER

17325 BELLFLOWER BLVD.

IN THE CITY OF BELLFLOWER, STATE OF CALIFORNIA

Prepared by:

**Joseph C. Truxaw and Associates, Inc.**

Civil Engineers and Land Surveyors

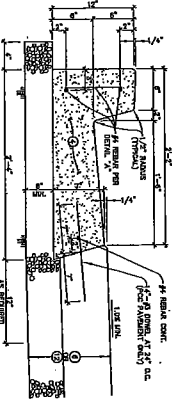
263 S. Anito Dr., Suite 111, Orange, CA. 92669 (714)935-0265 fax: (714)935-0108

NO.	REVISIONS	DATE

DATE	BY	NO.
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5-15-18	JOHN ST.	2
5-15-18	JOHN ST.	3
5-15-18	JOHN ST.	4
5-15-18	JOHN ST.	5
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5-15-18	JOHN ST.	7
5-15-18	JOHN ST.	8
5-15-18	JOHN ST.	9
5-15-18	JOHN ST.	10

OF 4 SHEETS





1. ALL SURFACES SHALL BE FINISHED WITH A 1/2\"/>

2. ALL SURFACES SHALL BE FINISHED WITH A 1/2\"/>

3. ALL SURFACES SHALL BE FINISHED WITH A 1/2\"/>

4. ALL SURFACES SHALL BE FINISHED WITH A 1/2\"/>

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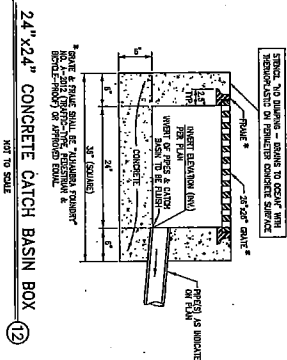
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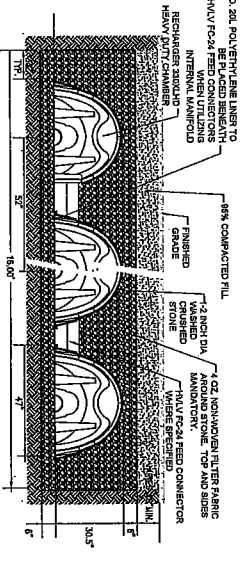
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**CURB & GUTTER DETAIL**  
NOT TO SCALE

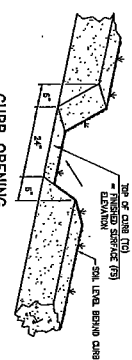


**CURB FACE TRANSITION DETAIL**  
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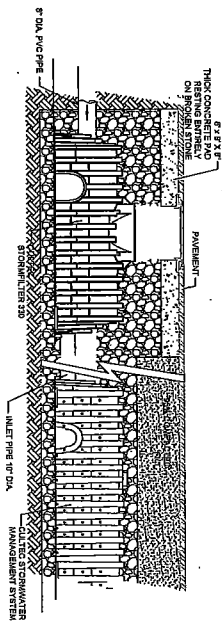


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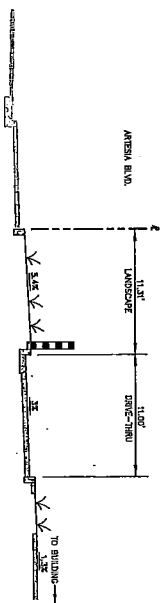
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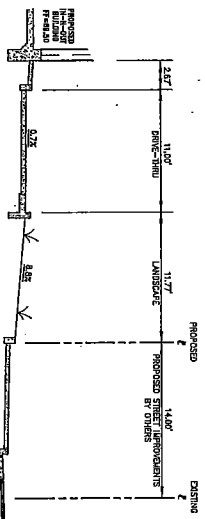
**CULTEC STORMFILTER 330**  
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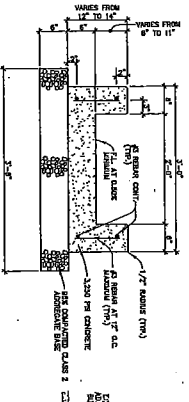
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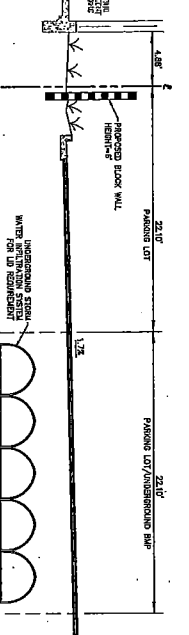
**SECTION B-B**  
NOT TO SCALE



**2\"/> NOT TO SCALE**



**SECTION C-C**  
NOT TO SCALE



**IN-N-OUT BURGER PROCESS FOR CONCRETE PLACEMENT**

1. BEFORE PLACING THE CONCRETE, THE FORMS SHALL BE CHECKED WITH THE PROJECT ARCHITECT AND SHALL BE REWORKED TO CORRECT ANY DEFICIENCIES.
2. THE CONCRETE SHALL BE PLACED IN THE FORMS WITH A 1/2\"/>



**SITE DETAILS & SECTIONS**  
IN-N-OUT BURGER  
17325 BELFLOWER BLVD.  
IN THE CITY OF BELFLOWER, STATE OF CALIFORNIA

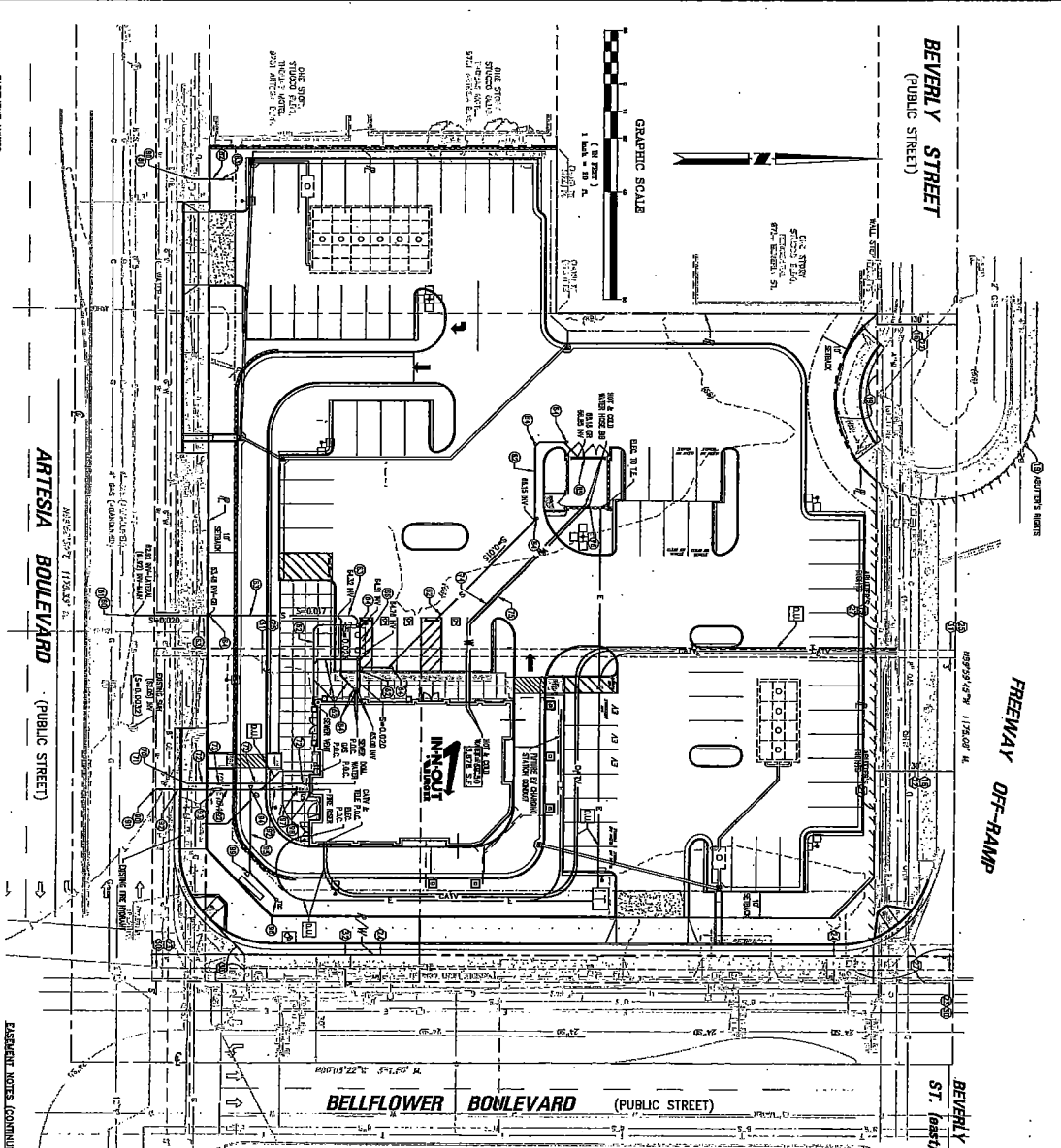


Prepared by:  
**Joseph C. Truxaw and Associates, Inc.**  
Civil Engineers and Land Surveyors  
255 S. Adair Dr., Suite 111, Oregon, CA 92868 (714)935-8255 Fax: (714)935-8108

NO.	REVISIONS	DATE

**PRELIMINARY**  
NOT FOR CONSTRUCTION

DATE: 4-20-18  
DRAWN BY: PLS  
CHECKED BY: JCT  
SCALE: AS SHOWN  
SHEET NO.: 4  
OF 4 SHEETS



**ESSENTIAL NOTES**

1. AN EXISTING 24" DIAMETER WATER MAIN IS LOCATED UNDER THE STREET FRONT PORCH OF THE EXISTING BUILDING. THE EXISTING WATER MAIN IS TO BE REMOVED AND REPLACED WITH A 24" DIAMETER WATER MAIN. THE NEW WATER MAIN IS TO BE INSTALLED UNDER THE STREET FRONT PORCH OF THE EXISTING BUILDING. THE NEW WATER MAIN IS TO BE INSTALLED UNDER THE STREET FRONT PORCH OF THE EXISTING BUILDING.

**ESSENTIAL NOTES (CONTINUED)**

2. AN EXISTING 18" DIAMETER WATER MAIN IS LOCATED UNDER THE STREET FRONT PORCH OF THE EXISTING BUILDING. THE EXISTING WATER MAIN IS TO BE REMOVED AND REPLACED WITH A 18" DIAMETER WATER MAIN. THE NEW WATER MAIN IS TO BE INSTALLED UNDER THE STREET FRONT PORCH OF THE EXISTING BUILDING.

**ESSENTIAL NOTES (CONTINUED)**

3. AN EXISTING 12" DIAMETER WATER MAIN IS LOCATED UNDER THE STREET FRONT PORCH OF THE EXISTING BUILDING. THE EXISTING WATER MAIN IS TO BE REMOVED AND REPLACED WITH A 12" DIAMETER WATER MAIN. THE NEW WATER MAIN IS TO BE INSTALLED UNDER THE STREET FRONT PORCH OF THE EXISTING BUILDING.

**ESSENTIAL NOTES (CONTINUED)**

4. AN EXISTING 8" DIAMETER WATER MAIN IS LOCATED UNDER THE STREET FRONT PORCH OF THE EXISTING BUILDING. THE EXISTING WATER MAIN IS TO BE REMOVED AND REPLACED WITH A 8" DIAMETER WATER MAIN. THE NEW WATER MAIN IS TO BE INSTALLED UNDER THE STREET FRONT PORCH OF THE EXISTING BUILDING.

**ESSENTIAL NOTES (CONTINUED)**

5. AN EXISTING 6" DIAMETER WATER MAIN IS LOCATED UNDER THE STREET FRONT PORCH OF THE EXISTING BUILDING. THE EXISTING WATER MAIN IS TO BE REMOVED AND REPLACED WITH A 6" DIAMETER WATER MAIN. THE NEW WATER MAIN IS TO BE INSTALLED UNDER THE STREET FRONT PORCH OF THE EXISTING BUILDING.

**CONSTRUCTION NOTES-DOMESTIC WATER**

1. PROVIDE AND VERIFY THE EXISTING LOCATION, DEPTH, MATERIAL, SIZE AND CONDITION OF EXISTING WATER MAINS. IF ANY PART OF EXISTING WATER MAINS IS FOUND TO BE DEFECTIVE, REMOVE AND REPLACE WITH NEW WATER MAINS TO MEET ALL APPLICABLE CODES AND REGULATIONS.

2. PLACE 2" MINIMUM THICKNESS POLYETHYLENE GLASS FIBER REINFORCED PLASTIC (PEFR) PIPE FOR DOMESTIC WATER MAINS.

3. PLACE 2" MINIMUM THICKNESS POLYETHYLENE GLASS FIBER REINFORCED PLASTIC (PEFR) PIPE FOR DOMESTIC WATER MAINS.

4. PLACE 2" MINIMUM THICKNESS POLYETHYLENE GLASS FIBER REINFORCED PLASTIC (PEFR) PIPE FOR DOMESTIC WATER MAINS.

**CONSTRUCTION NOTES-FIRE WATER**

1. PROVIDE AND VERIFY THE EXISTING LOCATION, DEPTH, MATERIAL, SIZE AND CONDITION OF EXISTING FIRE WATER MAINS. IF ANY PART OF EXISTING FIRE WATER MAINS IS FOUND TO BE DEFECTIVE, REMOVE AND REPLACE WITH NEW FIRE WATER MAINS TO MEET ALL APPLICABLE CODES AND REGULATIONS.

2. PLACE 4" MINIMUM THICKNESS POLYETHYLENE GLASS FIBER REINFORCED PLASTIC (PEFR) PIPE FOR FIRE WATER MAINS.

3. PLACE 4" MINIMUM THICKNESS POLYETHYLENE GLASS FIBER REINFORCED PLASTIC (PEFR) PIPE FOR FIRE WATER MAINS.

4. PLACE 4" MINIMUM THICKNESS POLYETHYLENE GLASS FIBER REINFORCED PLASTIC (PEFR) PIPE FOR FIRE WATER MAINS.

**NOTES**

1. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE DRAWING.

2. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE DRAWING.

3. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE DRAWING.

**LEGEND**

1. 24" DIAMETER WATER MAIN

2. 18" DIAMETER WATER MAIN

3. 12" DIAMETER WATER MAIN

4. 8" DIAMETER WATER MAIN

5. 6" DIAMETER WATER MAIN

6. 4" DIAMETER WATER MAIN

7. 3" DIAMETER WATER MAIN

8. 2" DIAMETER WATER MAIN

9. 1.5" DIAMETER WATER MAIN

10. 1" DIAMETER WATER MAIN

11. 0.75" DIAMETER WATER MAIN

12. 0.5" DIAMETER WATER MAIN

13. 0.375" DIAMETER WATER MAIN

14. 0.25" DIAMETER WATER MAIN

15. 0.1875" DIAMETER WATER MAIN

16. 0.125" DIAMETER WATER MAIN

17. 0.09375" DIAMETER WATER MAIN

18. 0.0625" DIAMETER WATER MAIN

19. 0.046875" DIAMETER WATER MAIN

20. 0.03125" DIAMETER WATER MAIN

**SYMBOLS**

1. EXISTING WATER MAIN

2. EXISTING SEWER MAIN

3. EXISTING GAS MAIN

4. EXISTING ELECTRIC MAIN

5. EXISTING TELEPHONE MAIN

6. EXISTING CABLE MAIN

7. EXISTING FIBER OPTIC MAIN

8. EXISTING DRAINAGE MAIN

9. EXISTING RAINWATER MAIN

10. EXISTING SWELL MAIN

11. EXISTING FLOOD MAIN

12. EXISTING FLOOD CONTROL MAIN

13. EXISTING FLOOD CONTROL WALL

14. EXISTING FLOOD CONTROL GATE

15. EXISTING FLOOD CONTROL VALVE

16. EXISTING FLOOD CONTROL STRUCTURE

17. EXISTING FLOOD CONTROL STRUCTURE WALL

18. EXISTING FLOOD CONTROL STRUCTURE GATE

19. EXISTING FLOOD CONTROL STRUCTURE VALVE

20. EXISTING FLOOD CONTROL STRUCTURE STRUCTURE

**NOTES**

1. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE DRAWING.

2. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE DRAWING.

3. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE DRAWING.

**PRELIMINARY**

NOT FOR CONSTRUCTION

**CONCEPTUAL UTILITY PLAN**

IN-N-OUT BURGER

17325 BELLFLOWER BLVD.

IN THE CITY OF BELLFLOWER, STATE OF CALIFORNIA



Prepared by:

**Joseph C. Truxaw and Associates, Inc.**

Civil Engineers and Land Surveyors

285 S. Anillo Dr., Suite 111, Orange, CA 92668 (714) 935-0265 fax: (714) 935-0106

NO.	REVISIONS	DATE

DATE: 4-22-18  
DRAWN BY: JCS  
CHECKED BY: JCS  
SCALE: AS SHOWN  
JOB NO.: 17325  
PROJECT: IN-N-OUT BURGER  
SHEET NO.: 1  
OF 1 SHEETS

**TITLE ABSTRACT**

THE SURVEY AND EXISTING RECORDS HAVE BEEN BASED ON INFORMATION... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**LEGAL DESCRIPTION**

THE LAND DESCRIBED IS SITUATED IN THE CITY OF BELLFLOWER, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS... THE LAND DESCRIBED IS SITUATED IN THE CITY OF BELLFLOWER, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS...

**PARCEL NOTES**

LET OF THE BELLFLOWER AREA AS FOR THE RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**EXEMPTION NOTES**

1-7) THAT THE REPORT ON ADJUTANT INFORMATION AND DETAILS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**EXEMPTION NOTES**

8) ANY RIGHTS, CLAIMS, INTERESTS, OR OTHER MATTERS WHICH HAVE... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**EXEMPTION NOTES**

9) ANY RIGHTS, CLAIMS, INTERESTS, OR OTHER MATTERS WHICH HAVE... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**EXEMPTION NOTES**

10) ANY RIGHTS, CLAIMS, INTERESTS, OR OTHER MATTERS WHICH HAVE... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**EXEMPTION NOTES**

11) ANY RIGHTS, CLAIMS, INTERESTS, OR OTHER MATTERS WHICH HAVE... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

14) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

15) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

16) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

17) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

18) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

19) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

20) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

21) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

22) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

23) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

24) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

25) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

26) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

27) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

28) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

29) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

30) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

31) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

32) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

33) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

34) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

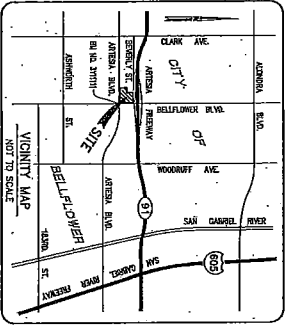
35) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

36) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**THE EXISTING MATTERS AFFECTED BY THIS**

37) A WRIT OF HABEAS CORPUS FOR BOND IN THE COUNTY... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...



**SITE PLANNING DATA**  
CITY OF BELLFLOWER PLANNING DEPARTMENT  
RECORDS SECTION - PLANNING DIVISION  
BELLFLOWER, CA 90705  
(562) 861-4248 EXT. 2228

**CONTRACT NOTES**  
1. THE SURVEYOR HAS REVIEWED THE RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**EXEMPTION NOTES**  
1) THAT THE REPORT ON ADJUTANT INFORMATION AND DETAILS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**EXEMPTION NOTES**  
2) ANY RIGHTS, CLAIMS, INTERESTS, OR OTHER MATTERS WHICH HAVE... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**EXEMPTION NOTES**  
3) ANY RIGHTS, CLAIMS, INTERESTS, OR OTHER MATTERS WHICH HAVE... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**EXEMPTION NOTES**  
4) ANY RIGHTS, CLAIMS, INTERESTS, OR OTHER MATTERS WHICH HAVE... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS... THE RECORDS OF THE COUNTY RECORDS...

**PLAN PREPARED FOR:**  
**IN-N-OUT BURGER**  
11520 BELLFLOWER BLVD  
BELLFLOWER, CA 91706



**ALTA/NSPS LAND TITLE SURVEY**  
NORTHWEST CORNER ARTESIA BLVD. & BELLFLOWER BLVD.  
IN THE CITY OF BELLFLOWER, COUNTY OF LOS ANGELES,  
STATE OF CALIFORNIA

Prepared by:  
**Joseph C. Truxaw and Associates, Inc.**  
Civil Engineers and Land Surveyors  
265 S. Arroyo Dr., Suite 111, Orange, CA 92668 (714) 935-0265 fax: (714) 935-0166

NO.	REVISIONS	DATE

DATE	BY
4/20/17	

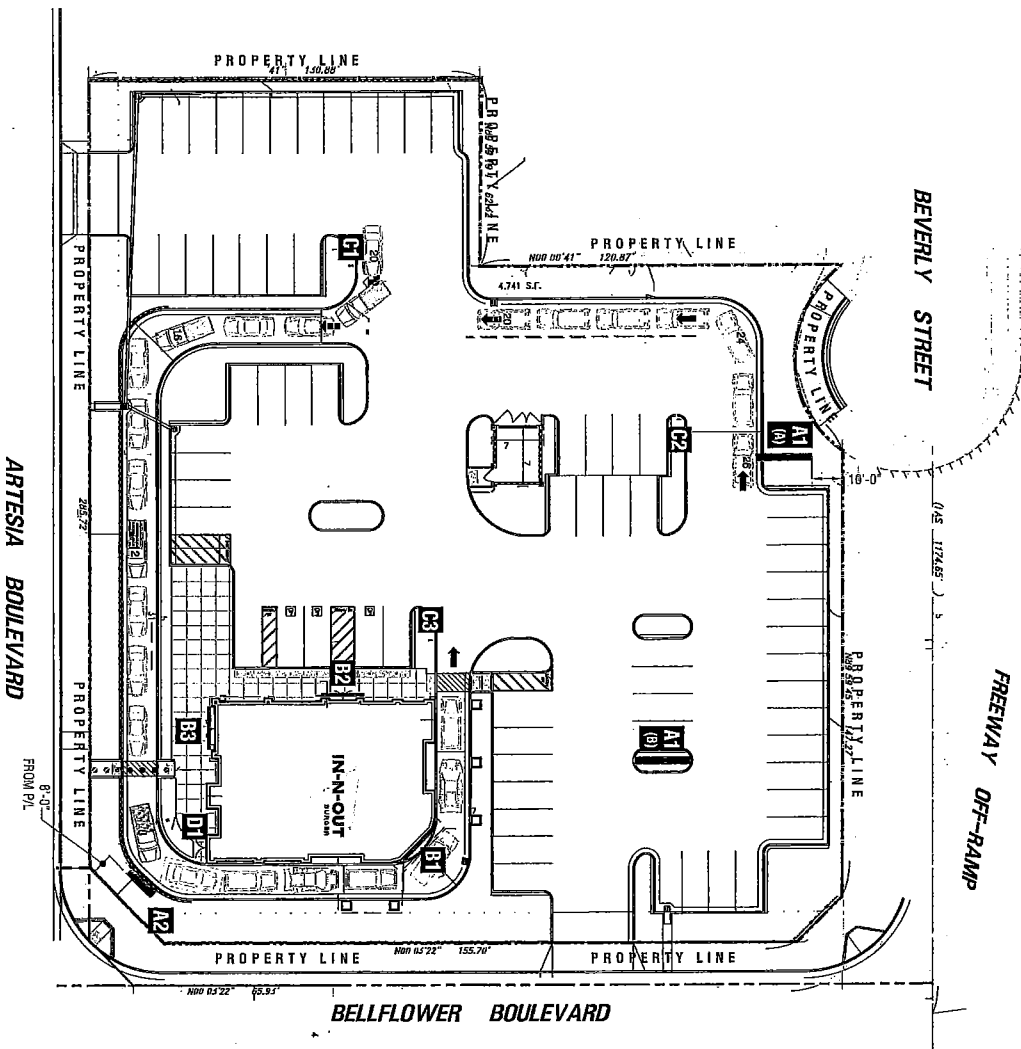






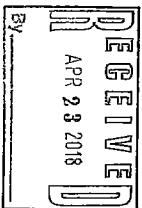


**SITE PLAN**  
SCALE: 1" = 40'-0"



**SIGN KEY**

- A1** LOCATION OPTION A: D/F POLE SIGN 5'-0" X 15'-0" CABINET @ 75'-0" OAH  
"IN-N-OUT BURGER"
- A2** LOCATION OPTION B: D/F POLE SIGN 5'-0" X 15'-0" CABINET @ 75'-0" OAH  
"IN-N-OUT BURGER"
- B1** S/F 6'-3 1/8" X 10'-3 1/8" INTERNALLY ILLUMINATED WALL  
SIGN (41.6 SQ. FT.) "IN-N-OUT BURGER"
- B2** S/F 6'-3 1/8" X 10'-3 1/8" INTERNALLY ILLUMINATED WALL  
SIGN (41.6 SQ. FT.) "IN-N-OUT BURGER"
- B3** S/F 6'-3 1/8" X 10'-3 1/8" INTERNALLY ILLUMINATED WALL  
SIGN (41.6 SQ. FT.) "IN-N-OUT BURGER"
- C1** D/F INTERNALLY ILLUMINATED DIRECTIONAL DISPLAY  
"DRIVE THRU"
- C2** D/F INTERNALLY ILLUMINATED DIRECTIONAL DISPLAY  
"DRIVE THRU"
- C3** D/F INTERNALLY ILLUMINATED DIRECTIONAL DISPLAY  
"THANK YOU/DO NOT ENTER"
- D1** S/F INTERNALLY ILLUMINATED MENU BOARD



**CMRP**  
SIGNS & GRAPHICS  
4530 Mission Gorge Place  
San Diego, CA 92120  
Tel: 619.283.2191  
Fax: 619.283.5503  
Web: www.cmrgraphics.com

**IN-N-OUT BURGER**

PROJECT: IN-N-OUT BURGER #XXX

LOCATION: 1725 BELLFLOWER BLVD. BELLFLOWER, CA 90705

SHEET TITLE: SITE PLAN & SIGN KEY

DATE: 07/21/17  
NOTED

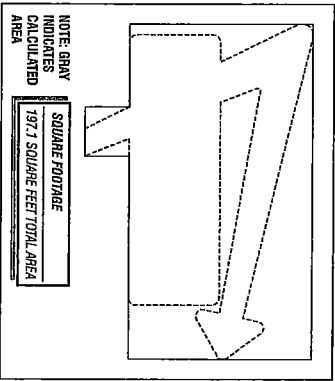
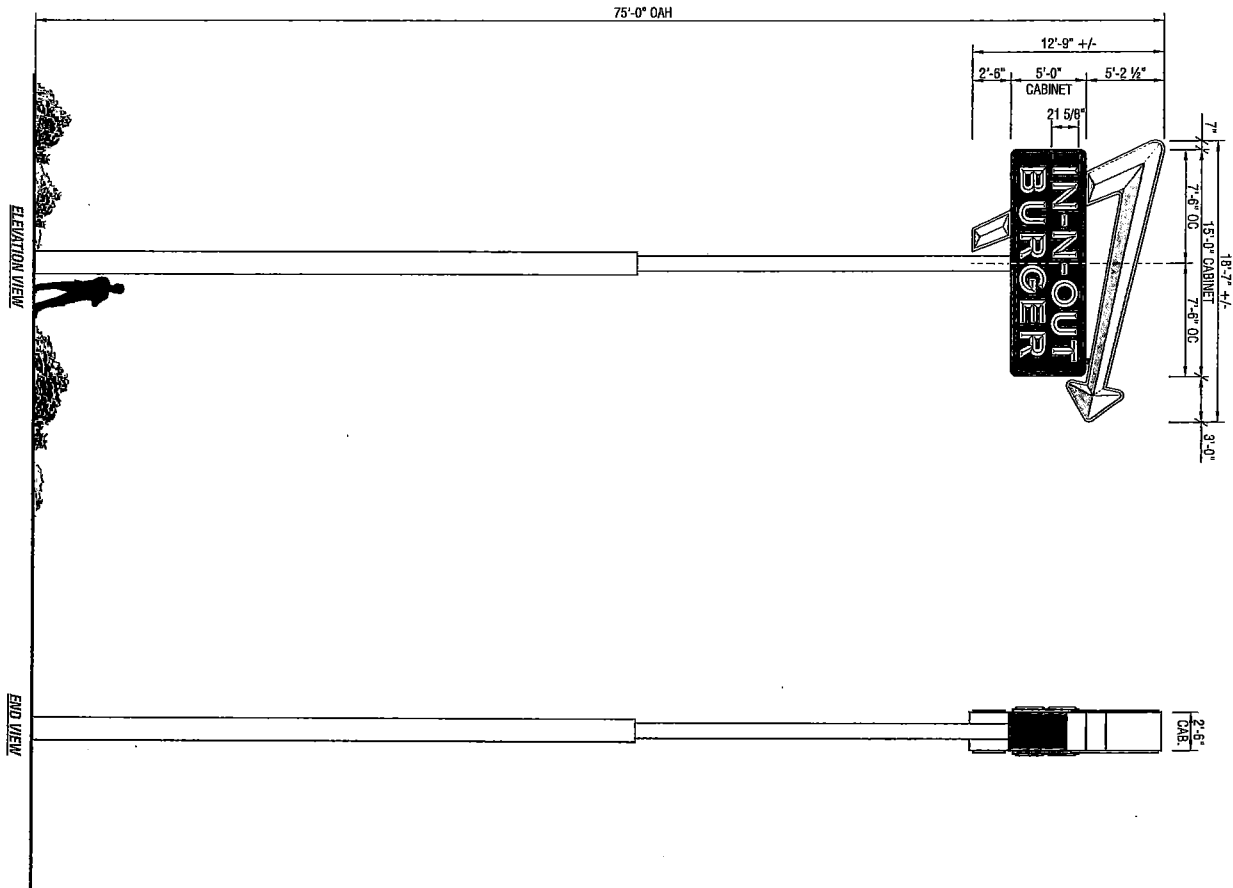
CUSTOMER APPROVAL

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NO.	DATE	PROJECT	DESCRIPTION
1	17-018	000000	
2			
3			
4			
5			
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7			
8			
9			
10			
11			
12			

D/E INTERNALLY ILLUMINATED 5'-0" X 15'-0" PYLON SIGN @ 75'-0" OAH (BOTH OPTIONS)  
 SCALE: 1/8" = 1'-0"



**SIGN SPECIFICATIONS:**  
 D/E INTERNALLY ILLUMINATED MONUMENT SIGN W/ ALUMINUM CABINET & ARROW W/ FORMED FACES. COLORS ARE PER BELOW:  
**ARROW:** FABRICATED CHANNEL WITH RETURN PAINTED TO MATCH PMS YELLOW "C" W/ GLOSS FINISH. FORMED YELLOW #2037 ACRYLIC PLASTIC FACES WITH 1" YELLOW TRIMCAP EDGES. HO TRIPHOSPHORUS LAMP ILLUMINATION.  
**CABINET:** FABRICATED CABINET & RETURNERS PAINTED TO NO BED W/ GLOSS FINISH. FORMED RED #21-1 ACRYLIC PLASTIC FACES W/ WHITE LETTERS. HO TRIPHOSPHORUS LAMP ILLUMINATION.  
**POLE:** STANDARD PIPE AS REQ'D/ PAINT TO MATCH DOWN EDWARDS BONE CHINA WHITE.

**CMP**  
 SIGNS & GRAPHICS  
 4530 Mission Gorge Pkwa  
 San Diego, CA 92120  
 Tel: 619.283.2191  
 Fax: 619.283.5033  
 Web: www.cmpsigns.com

**IN-N-OUT BURGER**

PROJECT: IN-N-OUT BURGER #XXX

LOCATION: 17325 BELLEFLOWER BLVD. BELFLOWER, CA 90706

SHEET TITLE: GROUND SIGN

DATE: 07/12/17  
 DRAWN BY: GARY WILCOX  
 CHECKED BY: ANDREW WRIGHT  
 NOTED BY: [blank]  
 CUSTOMER APPROVAL: [blank]

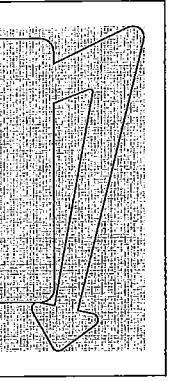
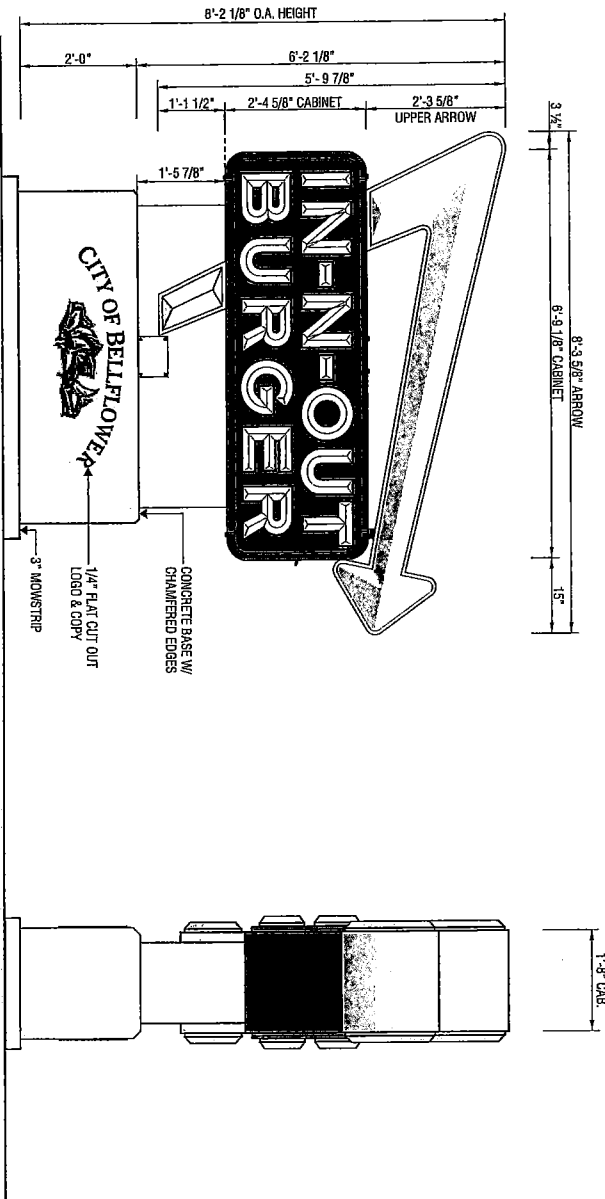
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REV	DATE	DESCRIPTION
1	7-10-18	PROJECT 0000000
2	7	7

REV	DATE	DESCRIPTION
1	8/20/17	TT
2	8/21/17	TT
3	8/21/17	TT
4	8/21/17	TT
5	8/21/17	TT
6	8/21/17	TT
7	8/21/17	TT
8	8/21/17	TT
9	8/21/17	TT
10	8/21/17	TT
11	8/21/17	TT
12	8/21/17	TT





**SIGN SPECIFICATIONS:**

D/E INTERNALLY ILLUMINATED MONUMENT SIGN W/ ALUMINUM CABINET & ARROW W/ FORMED FACES. COLORS ARE PER BELOW.

ARROW: FABRICATED CHANNEL, WITH RETURN PAINTED TO MATCH PMS YELLOW "C" W/ GLOSS FINISH. FORMED YELLOW #2037 ACRYLIC PLASTIC FACES WITH 1" YELLOW TRIMMAGE EDGES. LED ILLUMINATION - GE TETRA 4100K

CABINET FABRICATED CABINET & RETURNERS PAINTED TO MATCH PMS YELLOW "C" W/ GLOSS FINISH. FORMED ACRYLIC PLASTIC FACES TO HAVE SECOND SURFACE PAINTED GRAPHICS. BACKGROUND COLOR TO BE PAINTED PMS RED (25% CLEAR). LETTER COLOR TO BE PAINTED WHITE.

LED ILLUMINATION - SLOAN SIGN BOX II 6500K DUAL SIDED.

BASE: FABRICATED ALUMINUM BASE PAINTED TO MATCH DOWN EDWARDS "BONE CHINA" #514 W/ FINE TEKOOTE FINISH. LOWER END OF ARROW TO BE FABRICATED INTO BASE & ILLUMINATED AS REQUIRED.

**D/E INTERNALLY ILLUMINATED 2'-4 5/8" X 6'-9 1/8" MONUMENT SIGN**

SCALE: 1/2" = 1'-0"

**CMP**  
 SIGNS & GRAPHICS  
 4630 Mission Gorge Place  
 San Diego, CA 92120  
 Tel: 619.283.2191  
 Fax: 619.283.5503  
 Web: www.cmpsigns.com

**IN-N-OUT BURGER**  
 PROJECT: IN-N-OUT BURGER #XXX  
 CLIENT:

17225 BELLEFLOWER BLVD.  
 BELLEFLOWER, CA 90706

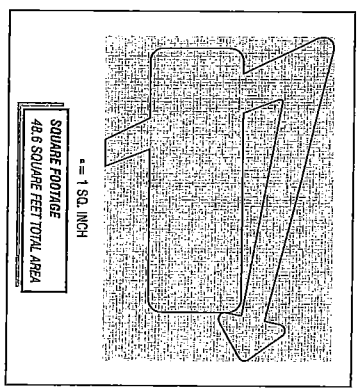
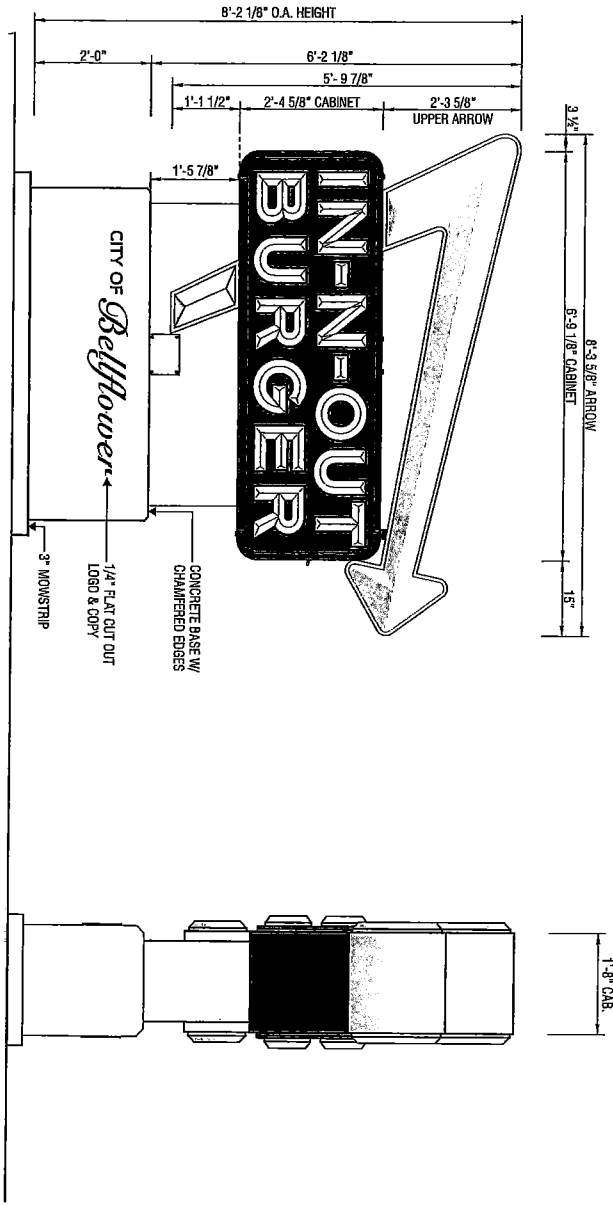
SHEET TITLE: GROUND SIGN  
 ACT SRG: GARRY WILCOX  
 DESIGNED BY: ANDREW WRIGHT  
 DATE: 01/27/17  
 SCALE: NOTED  
 CUSTOMER APPROVAL:

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DATE	17-018	PROJECT #	000000
REVISIONS	7	REV	

NO.	DESCRIPTION	DATE	BY
1	ISSUED	01/27/17	AW
2	REVISED		
3	REVISED		
4	REVISED		
5	REVISED		
6	REVISED		
7	REVISED		



**SIGN SPECIFICATIONS:**

D/F INTERNALLY ILLUMINATED MONUMENT SIGN W/ ALUMINUM CABINET & ARROW W/ FORMED FACES. COLORS ARE PER BELOW.

ARROW: FABRICATED CHANNEL WITH RETURNS PAINTED TO MATCH PMS YELLOW 'C' W/ GLOSS FINISH. FORMED YELLOW #2307 ACRYLIC PLASTIC FACES WITH 1" YELLOW TRIMCAP EDGES. LED ILLUMINATION - GE TETRA5 4100K

CABINET: FABRICATED CABINET & RETAINERS PAINTED TO MATCH AND #95 RED LACRYL W/ GLOSS FINISH. FORMED ACRYLIC FACES TO HAVE SECOND SURFACE PAINTED GRAPHICS. BACKGROUND COLOR TO BE PAINTED AND 443 RED (25% CLEAR). LETTER COLOR TO BE PAINTED WHITE. LED ILLUMINATION - SLOAN SIGN BOX II 6500K DUAL SIDED.

BASE: FABRICATED ALUMINUM BASE PAINTED TO MATCH DUANE EDWARDS' 'BONE CHINA' #814 W/ FINE TEACOTE FINISH. LOWER END OF ARROW TO BE FABRICATED INTO BASE & ILLUMINATED AS REQUIRED.

**D/F INTERNALLY ILLUMINATED 2'-4 5/8" X 6'-9 1/8" MONUMENT SIGN**

SCALE: 1/2" = 1'-0"

**REVISIONS**

NO.	DATE	BY	DESCRIPTION
1	05/07	TT	7
2	05/07	TT	8
3	05/07	TT	9
4	05/07	TT	10
5	05/07	TT	11
6	05/07	TT	12

REV NO. **A2** OFF/TON 12"

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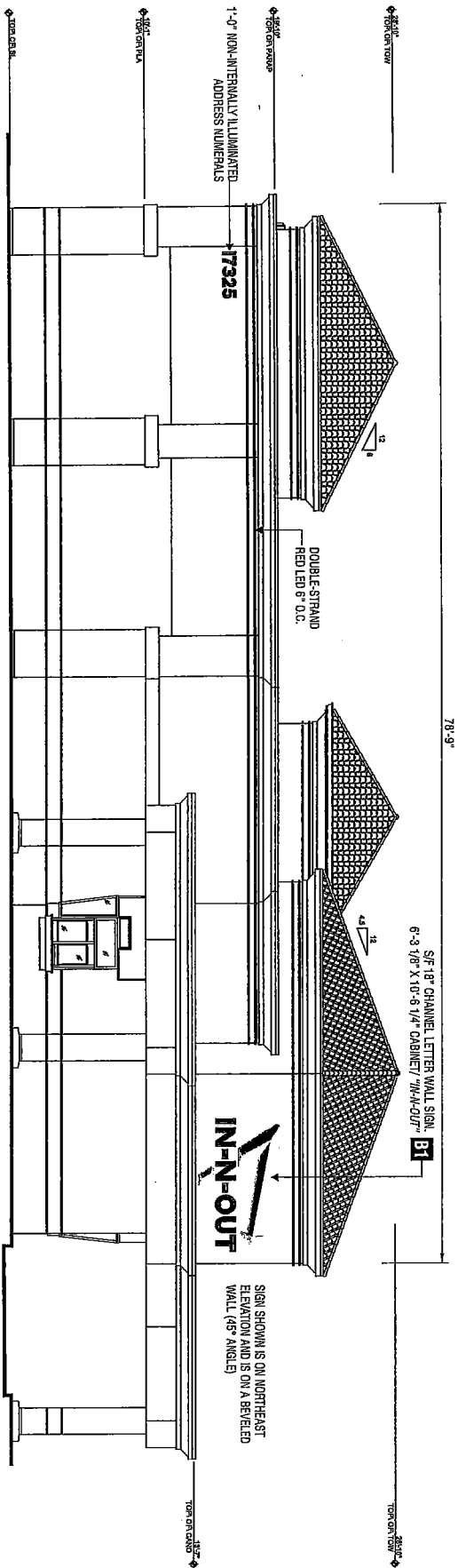
**CLIENT:**  
**PROJECT:**  
**LOCATION:**  
**GROUND SIGN**

**DESIGNER:**  
**CLIENT:**  
**DATE:**  
**SCALE:**  
**NOTED:**

**IN-N-OUT BURGER**

48.8 SQUARE FEET TOTAL AREA

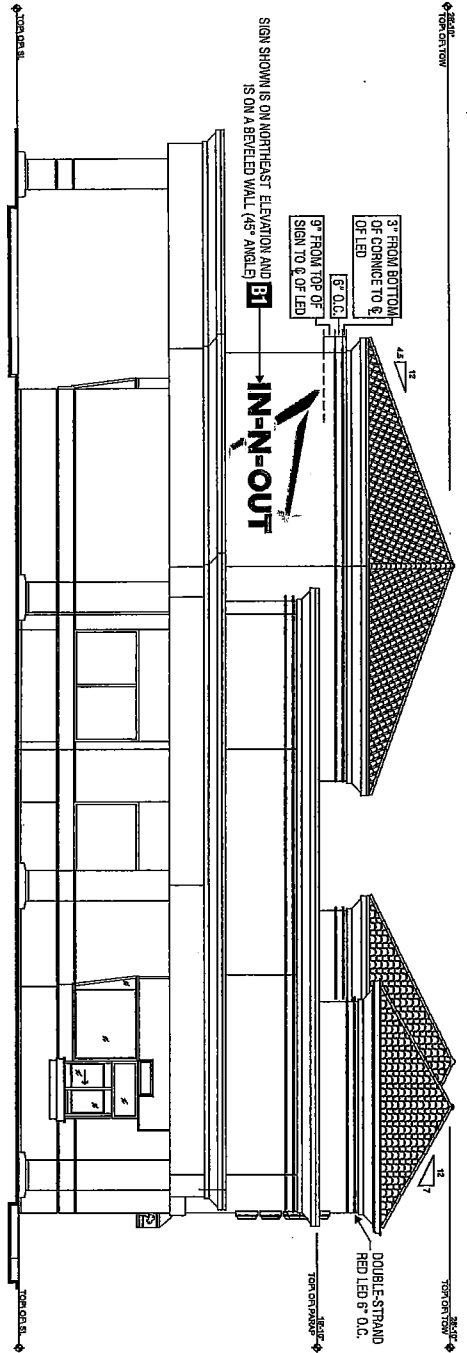
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 4530 Mission College Place  
 San Diego, CA 92120  
 Tel: 619.233.2191  
 Fax: 619.233.9503  
 Web: www.cpsigns.com



**EAST / DRIVE THRU ELEVATION**

SCALE: 1/8" = 1'-0"

NOTE:  
1483 SQUARE FOOT AREA  
5% OF AREA = 74.15 SQ. FT.  
PROPOSED SIGN IS 41.6 SQ. FT.



**NORTH / REAR ELEVATION**

SCALE: 1/8" = 1'-0"

**CMP**  
SIGNS & GRAPHICS  
4310 Alhambra Grove Place  
San Diego, CA 92120  
Tel: 619.283.2191  
Fax: 619.283.5503  
Web: www.cmpsigns.com

CLIENT

**IN-N-OUT**  
BURGER

PROJECT  
IN-N-OUT BURGER #XXX

LOCATION  
17325 BELLEVOUE BLVD.  
BELLFLOWER, CA 90706

SHEET TITLE  
ELEVATIONS

DESIGNED BY  
GANNY WILCOX  
REVIEWED BY  
ANDREW WRIGHT  
DATE  
07/21/17 SCALE  
NOTED

CUSTOMER APPROVAL

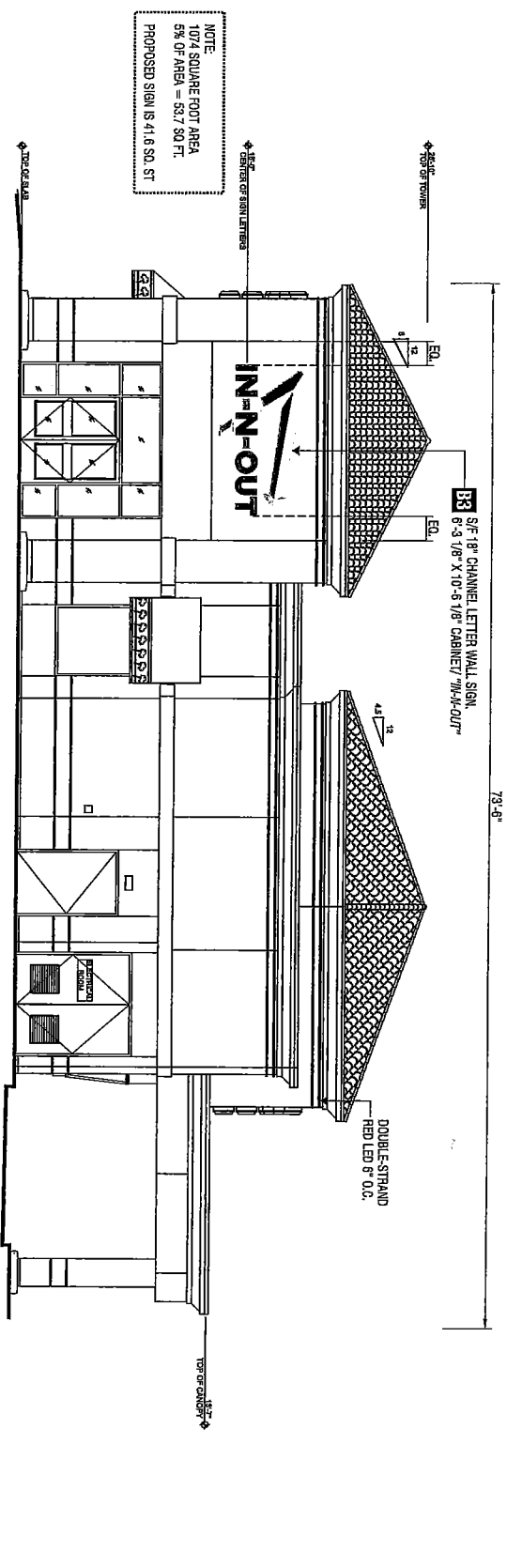
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DATE	17-018	PROJECT	000000
REVISIONS	7		

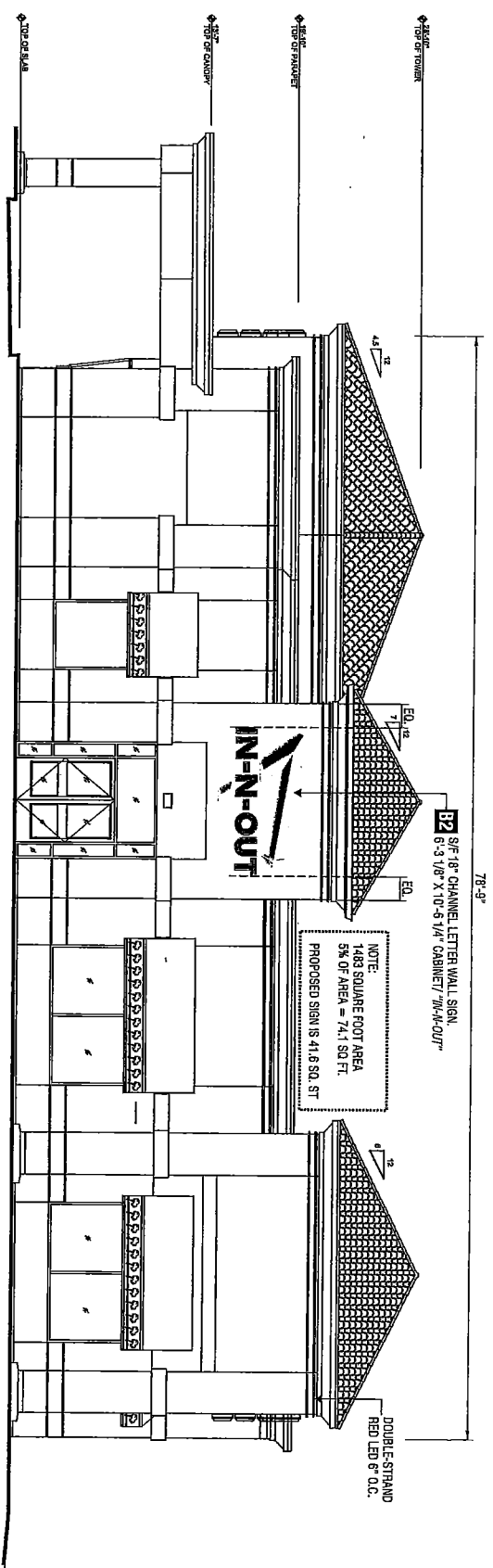
NO.	DATE	BY	DESCRIPTION
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2	1/18/17	AK	8
3	2/20/17	AK	16
4	2/20/17	AK	17
5	2/20/17	AK	18
6	3/13/17	TI	12

REV. NO. **B1**



NOTE:  
1074 SQUARE FOOT AREA  
5% OF AREA = 52.7 SQ. FT.  
PROPOSED SIGN IS 41.8 SQ. FT.

**SOUTH / FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



NOTE:  
1483 SQUARE FOOT AREA  
5% OF AREA = 74.1 SQ. FT.  
PROPOSED SIGN IS 41.6 SQ. FT.

**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

**CMP**  
SIGNS & GRAPHICS  
4530 Mission Gorge Place  
San Diego, CA 92130  
Tel: 619.263.2191  
Fax: 619.285.9503  
Web: www.cmpsigns.com

**IN-N-OUT**  
BURGER

PROJECT:  
IN-N-OUT BURGER #XXX

LOCATION:  
17328 BELLEFLOWER BLVD.  
BELLFLOWER, CA 90708

SHEET TITLE:  
ELEVATIONS

DESIGNER:  
GARRY WILCOX  
DRAWN BY:  
ANDREW WRIGHT

DATE:  
01/12/17

STATUS:  
NOTED

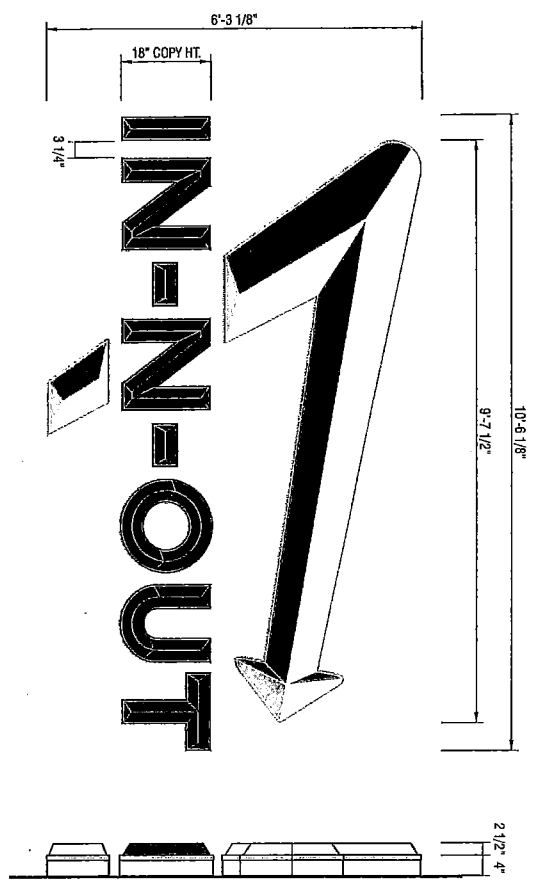
APPROVAL:  
CUSTOMER APPROVAL

**UTLITIES SPECIFIED, THIS IS FOR INFORMATION ONLY. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE INFORMATION SHOWN IS FOR PERMITTING AND DESIGN PURPOSES ONLY. THE INFORMATION SHOWN IS NOT TO BE USED FOR CONSTRUCTION. THE INFORMATION SHOWN IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE INFORMATION SHOWN IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE INFORMATION SHOWN IS NOT TO BE USED FOR ANY OTHER PURPOSES.**

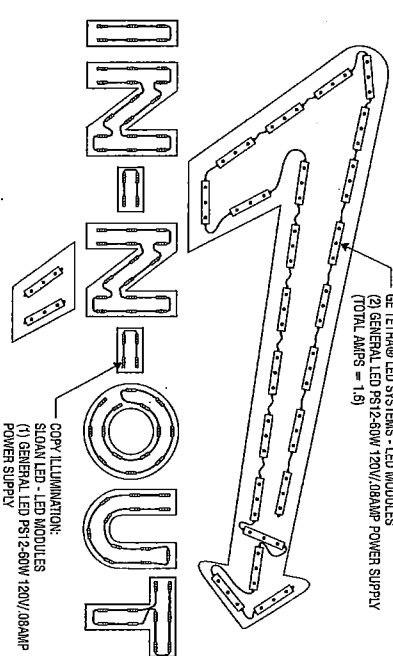
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NO.	DATE	REVISIONS
1	7/2016	REVISED
2	7/2016	REVISED
3	7/2016	REVISED
4	7/2016	REVISED
5	7/2016	REVISED
6	7/2016	REVISED
7	7/2016	REVISED

NO.	DATE	REVISIONS
1	7/2016	REVISED
2	7/2016	REVISED
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4	7/2016	REVISED
5	7/2016	REVISED
6	7/2016	REVISED
7	7/2016	REVISED



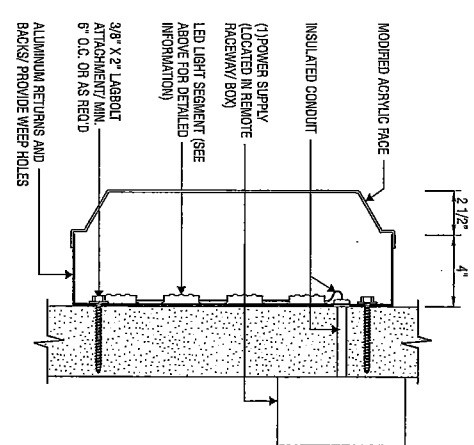
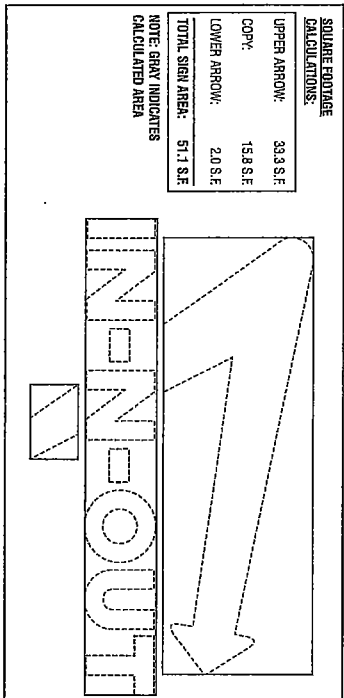
ELEVATION VIEW  
SIDE VIEW



LIGHTING COMPONENT DETAIL

NOTES:  
ALL LIGHTING COMPONENTS TO BE UL LISTED WITH DISCONNECT SWITCH @ POWER SUPPLY LOCATION (REMOVED). SIGNS PROVIDED WITH 3-WIRE 14 GAUGE JACK CABLE.

**SIGN SPECIFICATIONS:**  
S/F INTERNALLY ILLUMINATED ALUMINUM CHANNEL LETTER SIGN DISPLAY WITH FORMED COPY & ARROW. COLORS/MATERIAL PER BELOW:  
**ARROW:** FABRICATED CHANNEL WITH RETURNS PAINTED TO MATCH - BONE CHINA SP 514 BY DUINN EDWARDS W/ SATIN FINISH. FORMED YELLOW #2037 ACRYLIC FACES. LED ILLUMINATION (SEE ABOVE).  
**COPY:** FABRICATED CHANNEL WITH RETURNS PAINTED TO MATCH - BONE CHINA SP 514 BY DUINN EDWARDS W/ SATIN FINISH. FORMED RED #211-1 ACRYLIC FACES WITH 1" GOLD TRIMCAP. RED LED ILLUMINATION (SEE ABOVE).  
CHANNEL LETTERS TO BE 4" DEEP/ ALL SIGNS TO BE INSTALLED ONTO BUILDING AS REQUIRED.



SECTION DETAIL (NOT TO SCALE)

**CMP**  
SIGNS & GRAPHICS  
4530 Mission Gorge Place  
San Diego, CA 92120  
Fax: 619.283.9593  
Web: www.cmpsigns.com

PRODUCT: IN-N-OUT BURGER #XXX

LOCATION: 17325 BELLFLOWER BLVD. BELLFLOWER, CA 90706

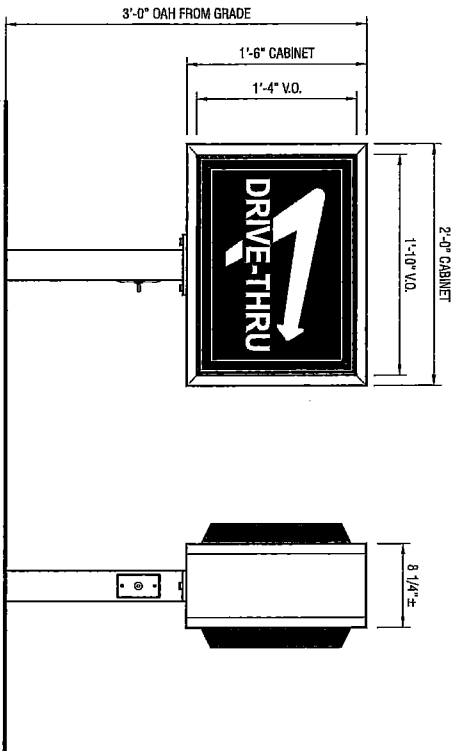
SUBJECT: WALL SIGNS

AGENT: GARRY WILCOX  
DESIGNER: ANDREW WRIGHT  
DATE: 01/12/17  
SCALE: NOTED  
CUSTOMER APPROVAL:

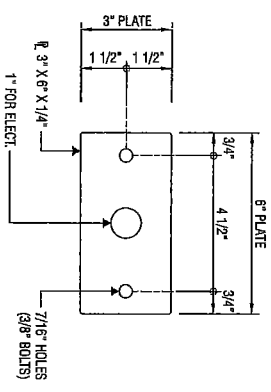
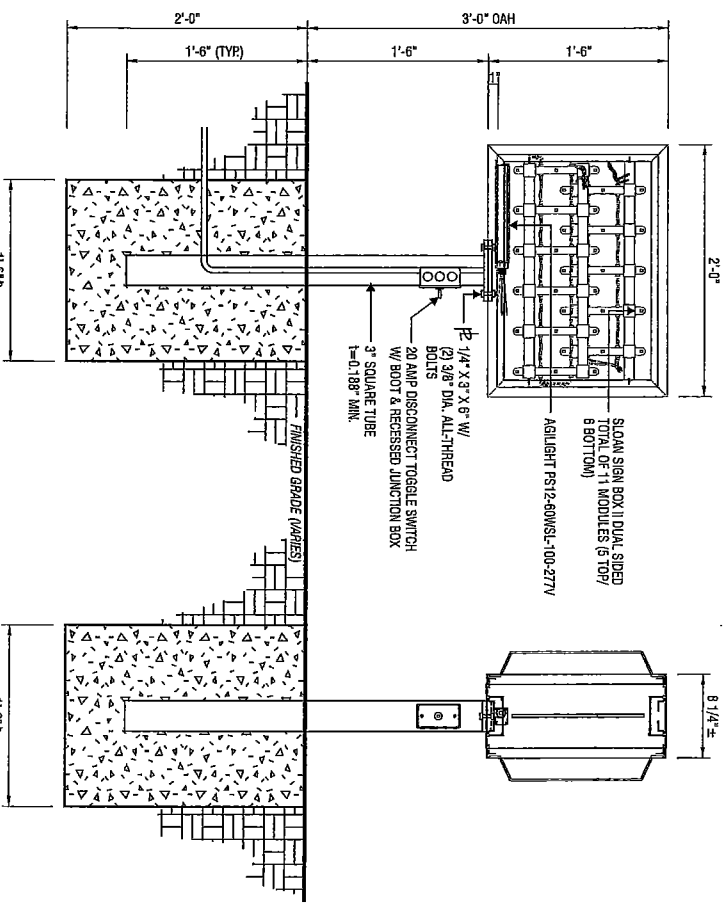
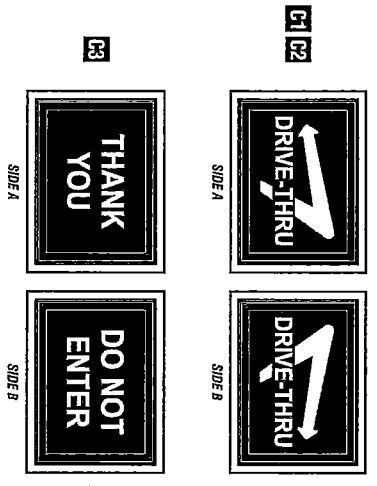
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REV	DATE	BY	CHKD	APP'D	DESCRIPTION
1	02/01/17	AW	AW		ISSUE FOR PERMITTING
2	04/10/17	AW	AW		REVISED FOR MATERIAL
3	04/10/17	AW	AW		REVISED FOR MATERIAL
4	04/10/17	AW	AW		REVISED FOR MATERIAL
5	04/10/17	AW	AW		REVISED FOR MATERIAL
6	04/10/17	AW	AW		REVISED FOR MATERIAL
7	01/12/17	AW	AW		REVISED FOR MATERIAL



**D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGNS**  
SCALE: 1" = 1'-0"



**SIGN SPECIFICATIONS:**

D/F INTERNALLY ILLUMINATED ALUMINUM DIRECTIONAL CABINET W/ FORMED FACES & ARROW. SIGN CABINET, RETAINERS PAINTED TO MATCH \*BONE CHINA\* SP 514 BY DUINN EDWARDS W/ SATIN FINISH. FORMED ACRYLIC PLASTIC FACES TO HAVE SECOND-SURFACE PAINTED GRAPHICS. BACKGROUND COLOR TO BE PAINTED W/ 449 RED (25% CLEAR). LETTER COLOR TO BE PAINTED WHITE. ARROW TO BE PAINTED W/ 413 YELLOW (25% CLEAR) -AS APPLIES. SIGN CABINETS TO BE ILLUMINATED W/ SLOW SIGN BOX II DUAL SIDED LEDS.

**PLATE DETAIL**  
SCALE: 3" = 1'-0"

NOTES: 120V POWER. SIGN TO BE UL LISTED WITH APPROVED DISCONNECT SWITCH. GROUNDING AND BONDING IN ACCORDANCE WITH ARTICLE 600 NEC.



4530 Mission George Place  
San Diego, CA 92120  
Tel: 619 233 1911  
Fax: 619 233 1911  
Web: www.crippsigns.com

**IN-N-OUT BURGER**

PROJECT: IN-N-OUT BURGER #XXX

LOCATION: 17325 BELLEMEYER BLVD. BELLFLOWER, CA 90706

SHEET TITLE: DIRECTIONALS  
DATE: 01/24/17  
NOTED: ANDREW WRIGHT  
DESIGNER: GARRY WILCOX  
CHECKER: ANDREW WRIGHT  
CUSTOMER APPROVAL: [Signature]

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PROJECT	17-0118	ISSUE	000000
DATE	7	DATE	

REVISIONS	DATE	BY	DESCRIPTION
1	01/24/17	AW	ISSUE FOR PRODUCTION
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

**CMP**  
**SIGNS & GRAPHICS**  
 4630 Mission College Place  
 Suite 100  
 San Jose, CA 95129  
 Tel: 650.283.2191  
 Fax: 650.283.9503  
 Web: www.cmpsigns.com

CLIENT

**IN-N-OUT**  
**BURGER**  
 PROJECT  
 IN-N-OUT BURGER #VXX

LOCATION  
 17325 BELFLOWER BLVD.  
 BELFLOWER, CA 90708

SHEETNAME  
 MENU BOARD

ARCHITECT  
 GARRIN WILCOX  
 DESIGNER  
 ANDREW WRIGHT  
 DATE  
 01/12/17 NOTED  
 SCALE

CUSTOMER APPROVAL

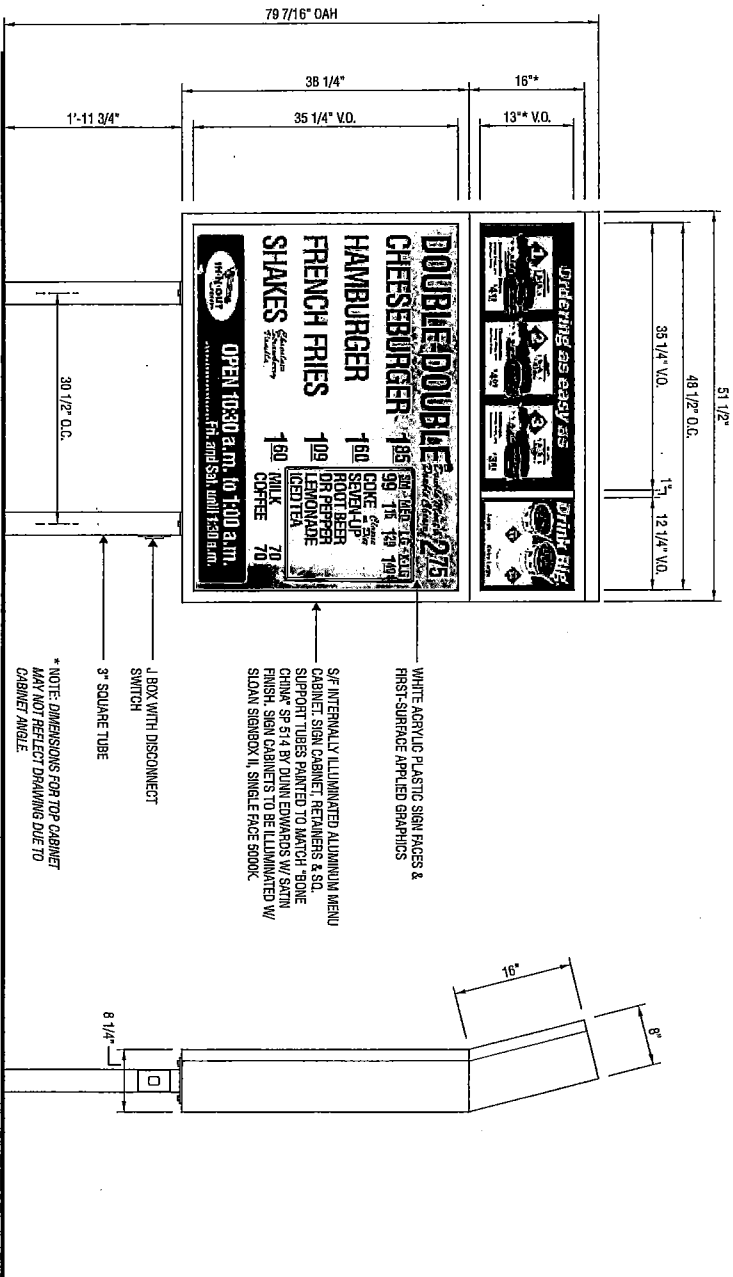
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DATE	PROJECT	
1/24/18	000000	
REVISIONS		
NO.	DATE	DESCRIPTION
1	02/07/18	TT
2	02/07/18	TT
3	02/07/18	TT
4	02/07/18	TT
5	02/07/18	TT
6	02/07/18	TT
7	02/07/18	TT

KEY: N/A

01



**S/F INTERNALLY ILLUMINATED MENU BOARD**

SCALE 3/4" = 1'-0"



**SIGNS & GRAPHICS**  
 4530 Mission Gorge Place  
 San Diego, CA 92120  
 Tel: 619.283.2191  
 Fax: 619.283.9903  
 Web: www.cripsigns.com

CLIENT

**IN-N-OUT  
 BURGER**

PROJECT  
 IN-N-OUT BURGER #XXX

LOCATION  
 17225 BELLEFLOWER BLVD.  
 BELLFLOWER, CA 90706

SHEET TITLE  
 BORDER LED DETAIL

DESIGNER  
 GABRIEL WILCOX  
 CHECKED BY  
 ANDREW WRIGHT  
 DATE  
 01/21/17 SCALE  
 NOTED  
 CUSTOMER APPROVAL

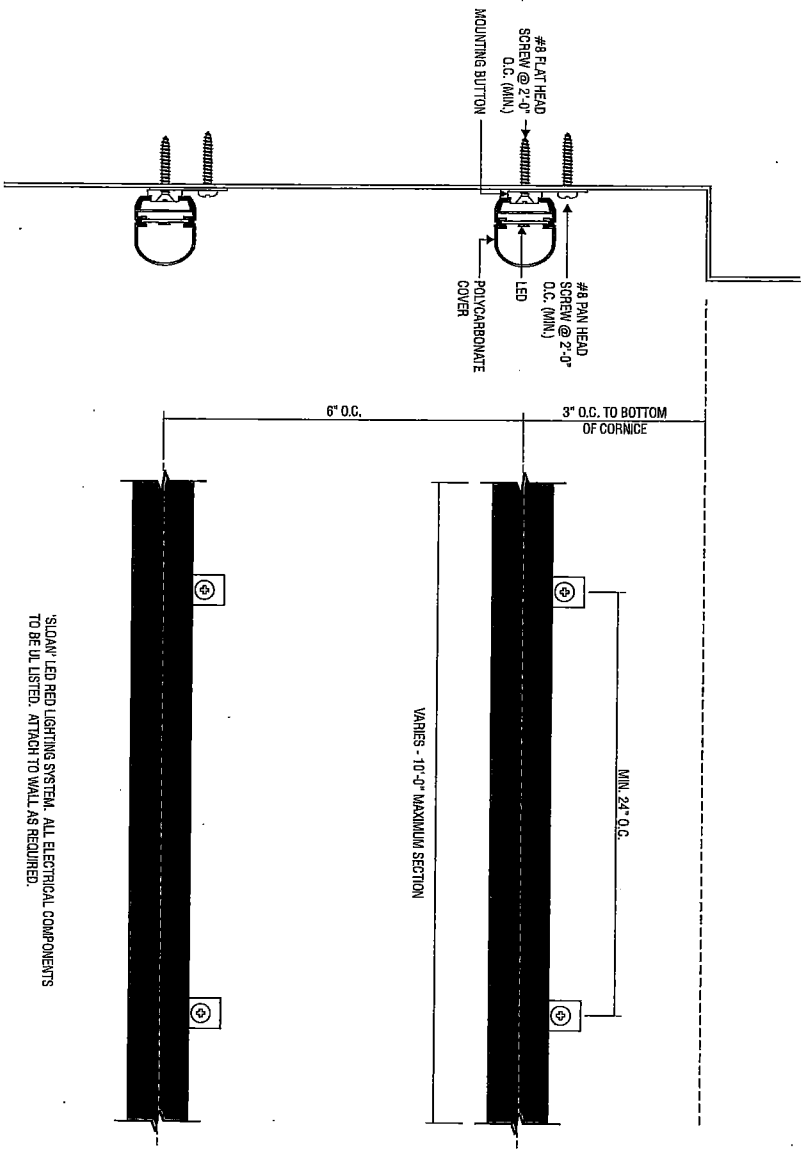
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PROJECT #	17-018	PROJECT #	000000
DATE	7/17/17	DATE	7/17/17

REVISIONS	NO.	DATE	BY	DESCRIPTION	
1	6/20/17	TI	7	6/20/17	TI
2	6/20/17	AS	9		
3	6/20/17	JMS	9		
4	6/20/17	JMS	10		
5	6/20/17	TI	11		
6	6/20/17	TI	12		

KEY NO.



SIGNIFY LED REED LIGHTING SYSTEM. ALL ELECTRICAL COMPONENTS TO BE UL LISTED. ATTACH TO WALL AS REQUIRED.

**LED BORDER**

HALF SIZE



**COLOR SPECIFICATIONS**

C1 RED ACRYLIC #21-1



**SIGNS & GRAPHICS**  
 4330 Mission College Place  
 Bellflower, CA 90706  
 Tel: 519.283.2151  
 Fax: 519.283.5803  
 Web: www.cnpb.com

CLIENT

**IN-N-OUT**  
**BURGER**

PROJECT  
 IN-N-OUT BURGER #XXX

LOCATION  
 17325 BELFLOWER BLVD.  
 BELLFLOWER, CA 90706

SHEET NO.  
 NON-ILLUMINATED  
 ADDRESS NUMERALS

ACCEPTED BY  
 GARRY WILL COX  
 DESIGNER  
 ANDREW WRIGHT  
 DATE  
 01/12/17  
 SCALE  
 NOTED  
 CUSTOMER APPROVAL

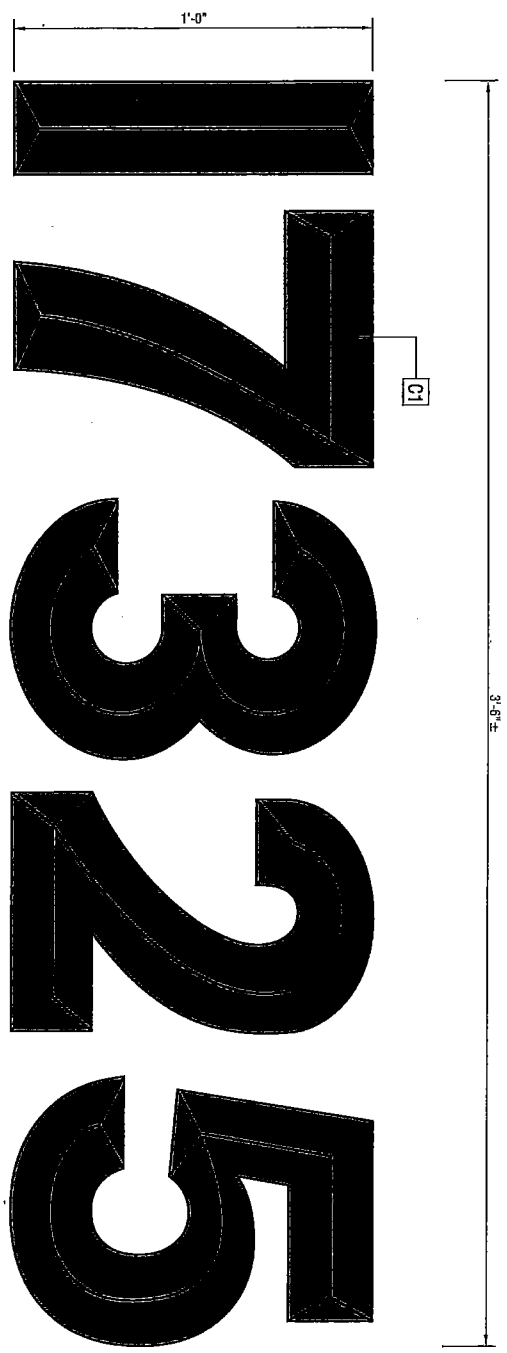
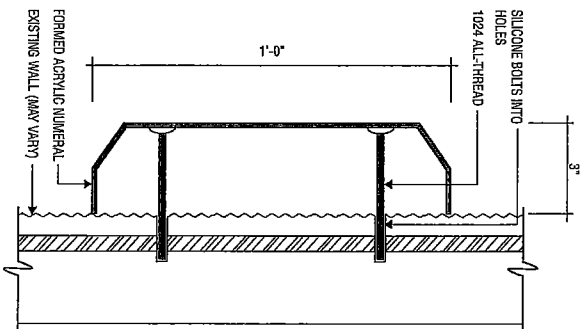
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Sheet #	17-018	Project #	000000
Revision #	7	Year	

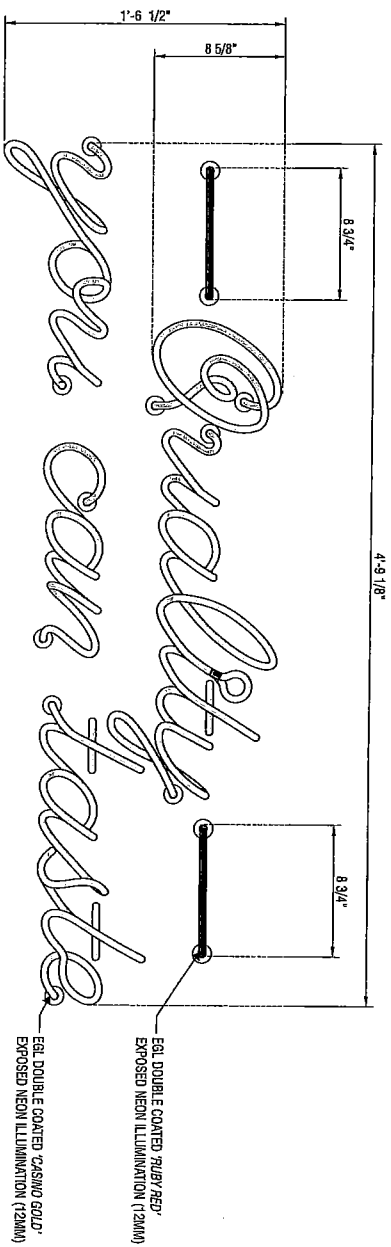
REVISIONS			
NO.	DATE	BY	DESCRIPTION
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2	1/2017	AB	8
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6	1/2017	TT	12

REVISED



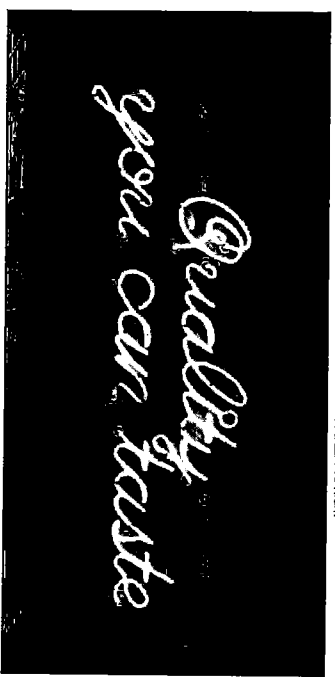
**NON-ILLUMINATED 12" ADDRESS NUMERALS**

SCALE 3" = 1'-0"



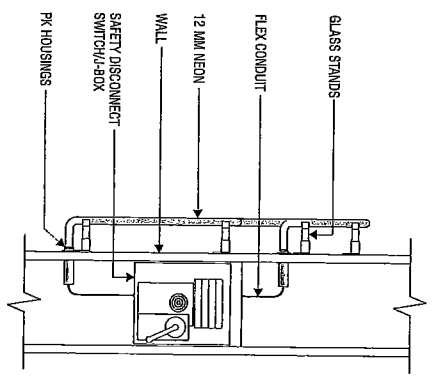
**INTERIOR NEON SIGN**

SCALE: 1 1/2" = 1'-0"



INSTALLED NEON DISPLAY (TYPE)

NOTE: NEON SIGN IS ORIENTED FOR INTERIOR VISIBILITY ONLY



NEON DETAIL  
SCALE: NTS

**CRP**

SIGNS & GRAPHICS  
4530 Mission Gorge Place  
San Diego, CA 92120  
Tel: 619.283.2191  
Fax: 619.283.5503  
Web: www.crpgraphics.com

COLOR

**IN-N-OUT BURGER**

PROJECT  
IN-N-OUT BURGER #XXX

LOCATION  
17325 BELLEFLOWER BLVD.  
BELLFLOWER, CA 90706

SHEET TITLE  
INTERIOR NEON DISPLAY

DATE  
GARRY WILCOX  
ANDREW WRIGHT  
01/12/17

SCALE  
NOTED

CUSTOMER APPROVAL

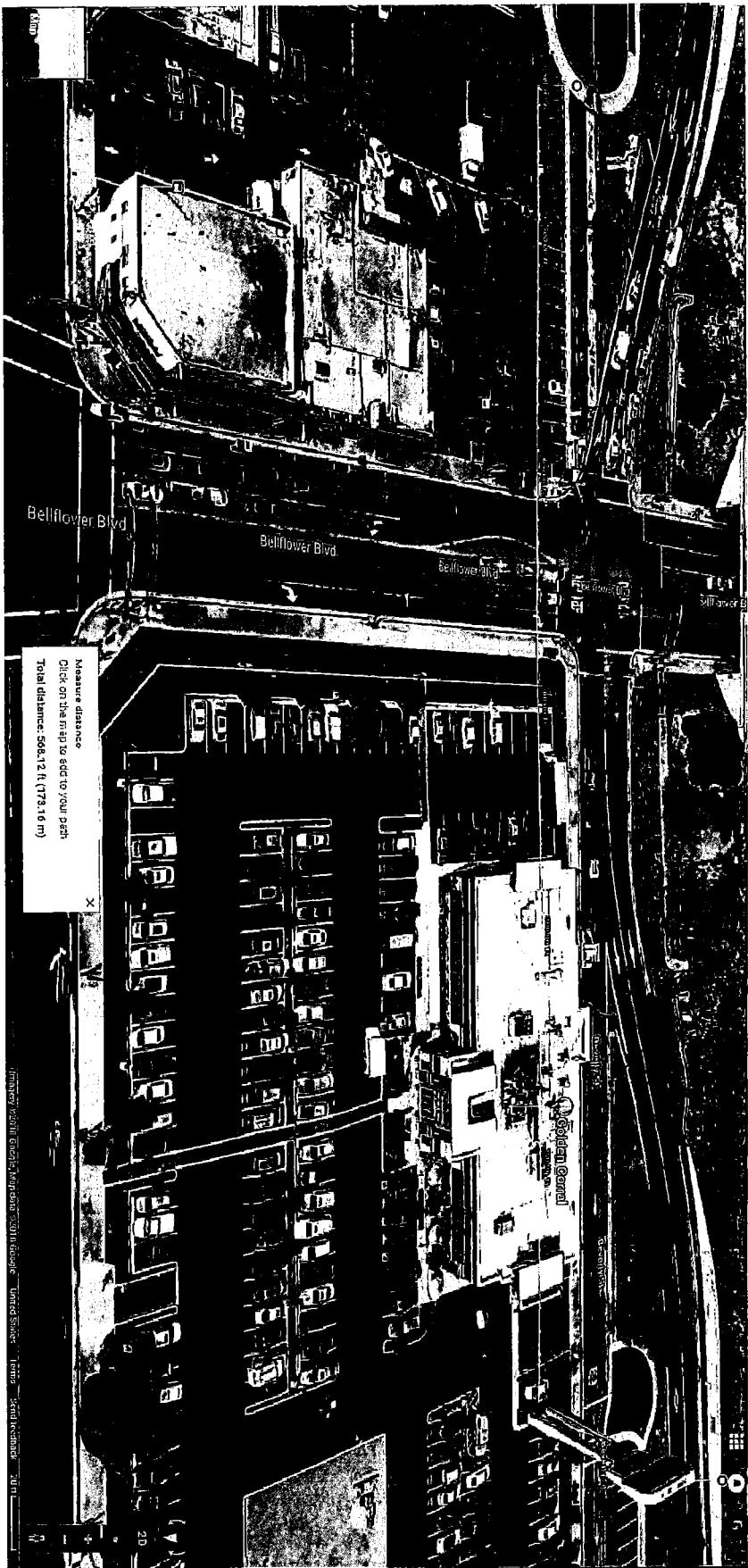
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DATE	7-20-18	PROJECT	000000
REVISION	7	DATE	

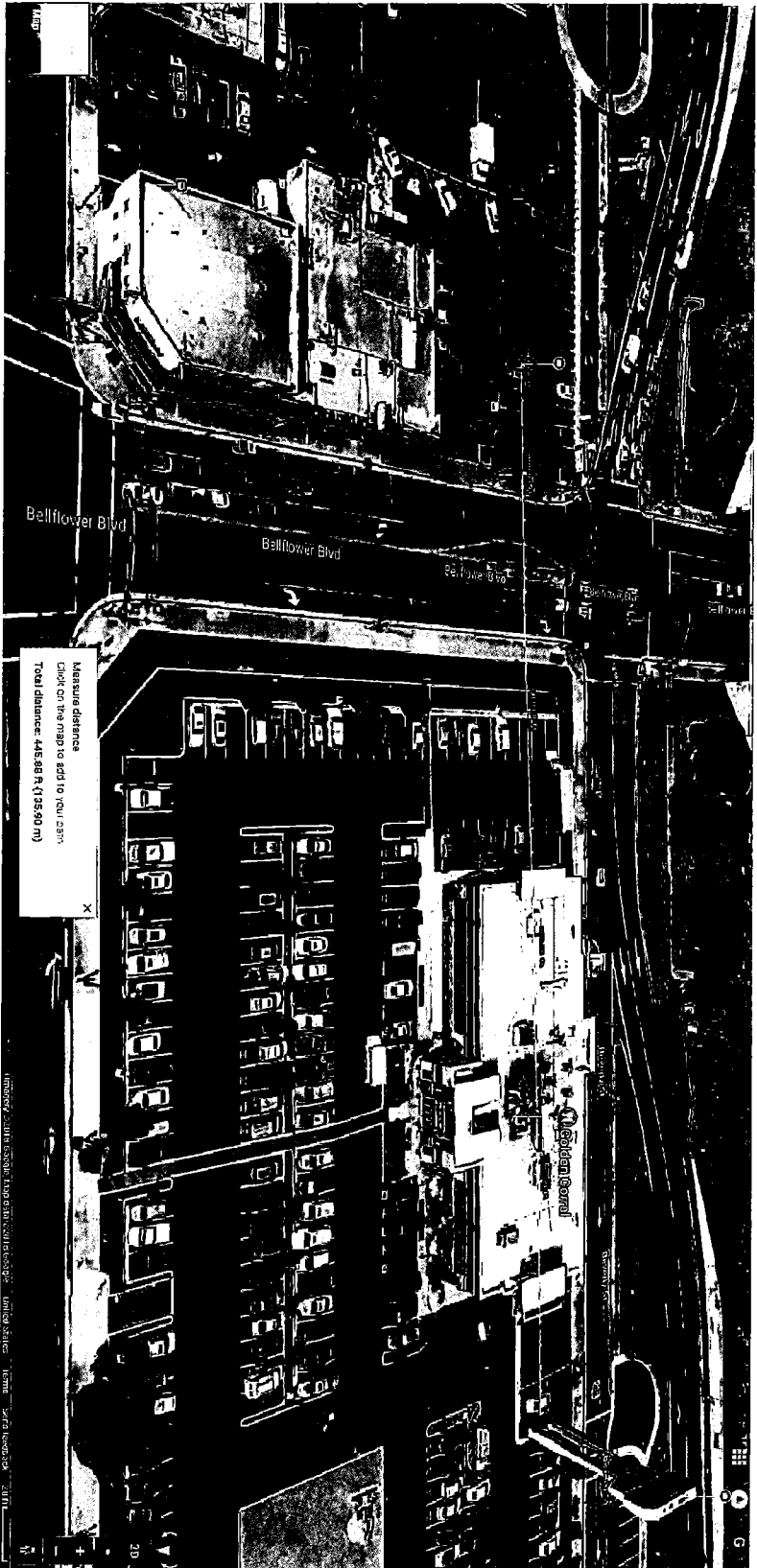
NO.	DATE	BY	DESCRIPTION
1	7/20/18	TT	
2	8/14/17	MS	
3	3/20/18	JAC	
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5	3/20/18	TT	
6	4/10/18	TT	

**INO Bellflower, CA 17325 Bellflower Blvd.**



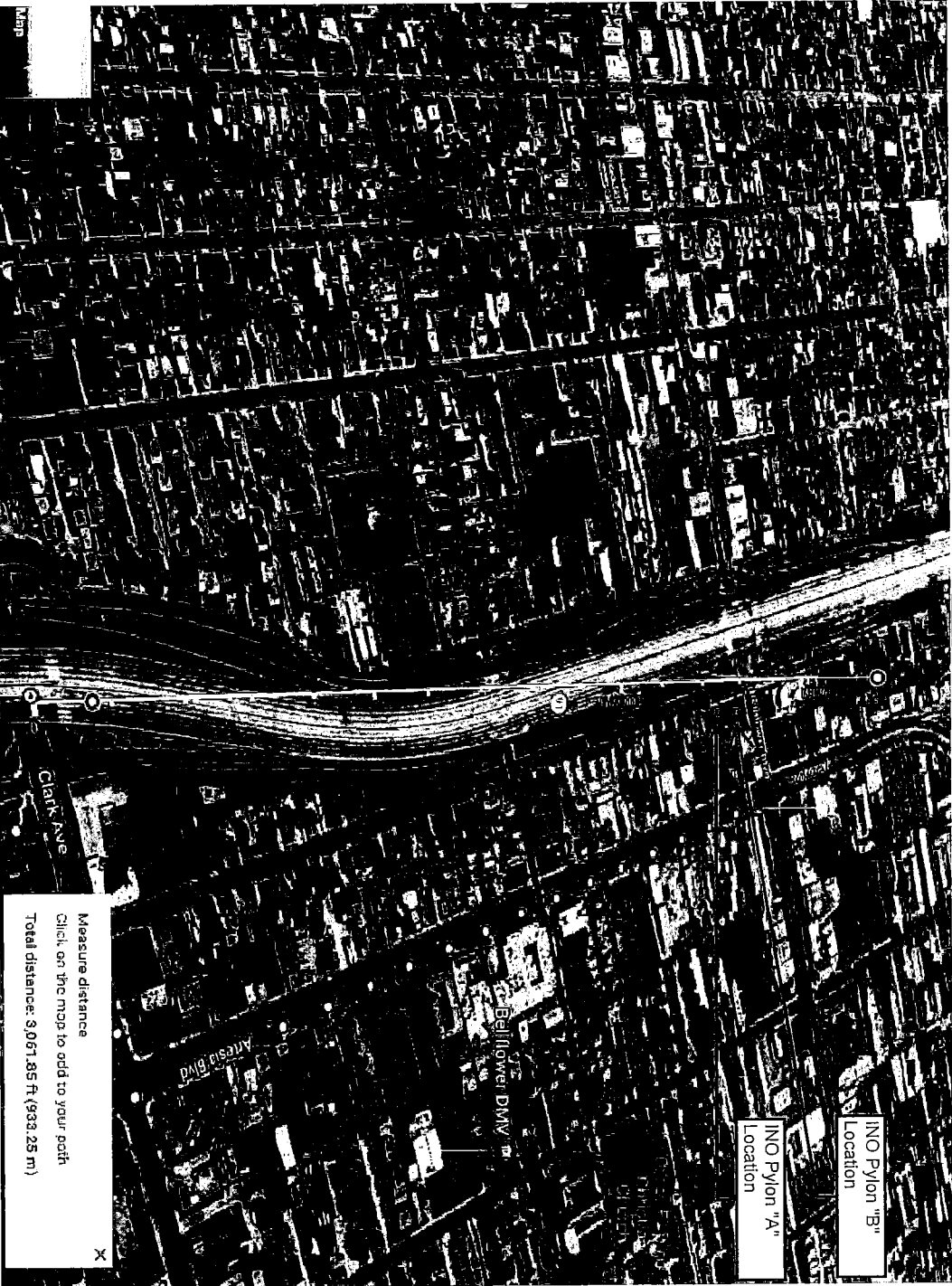
Pylon Location in comparison to Golden Corral pylon: For INO Bellflower, CA - the above rendering shows the "A1" pylon location "a" for the future IN-N-OUT BURGER location. Using the Google maps measurement tool, the distance between the 85' Golden Corral and the 75' INO pylon is roughly 588 feet. The distance between the two is more than enough for visibility. Eastbound 91 traffic would see the Golden Corral sign more clearly than the 75' INO sign. The INO sign has to compete with the noise wall along the freeway to be visible. Westbound 91 traffic would have no trouble in identifying either IN-N-OUT BURGER or Golden Corral.

INO Bellflower, CA 17325 Bellflower Blvd.



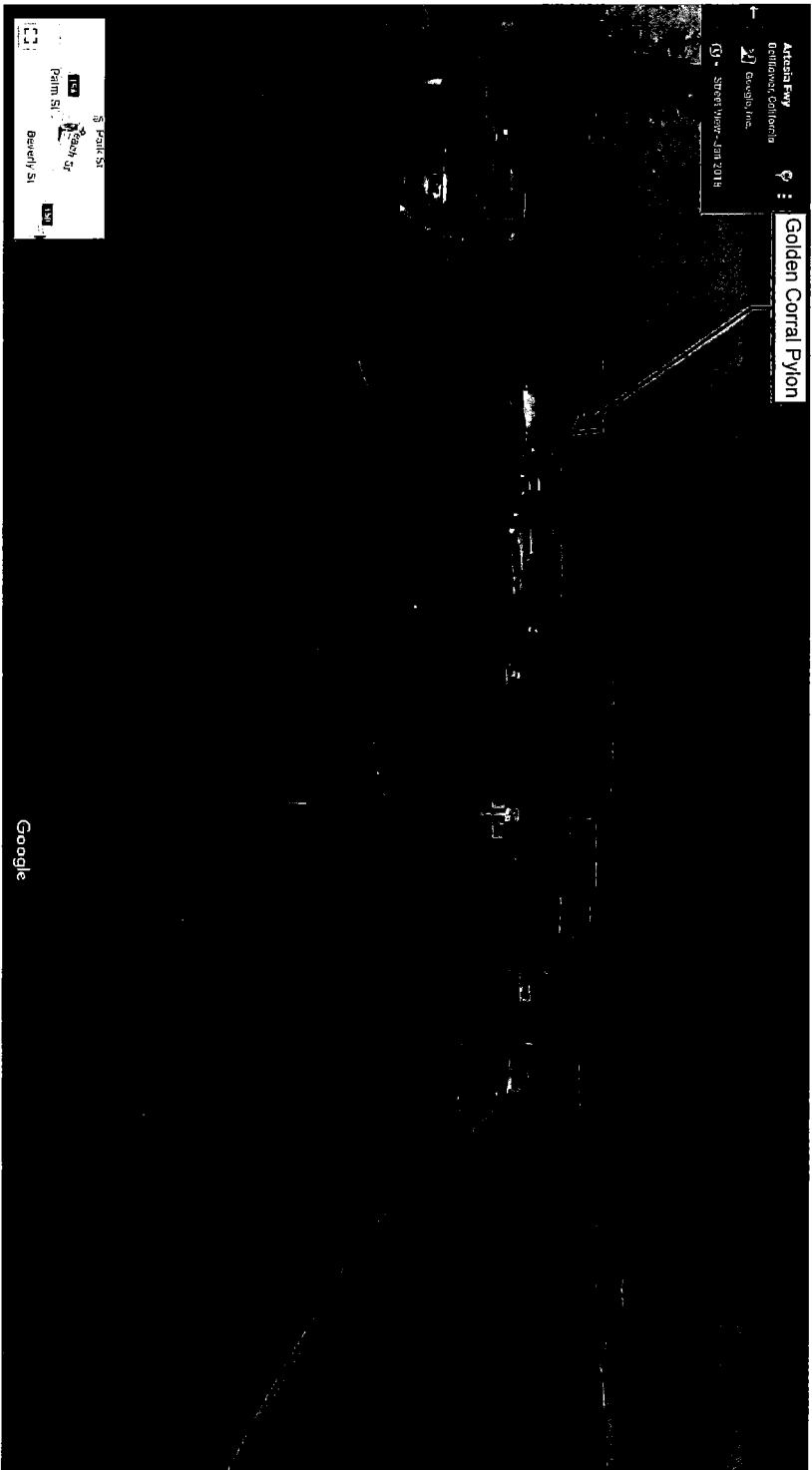
The photo above shows the approximate location of the INO's second choice for a pylon sign. It's approximately 445 feet from the Golden Corral pylon and still out of the line of site for freeway traffic.

**INO Bellflower, CA 17325 Bellflower Blvd.**



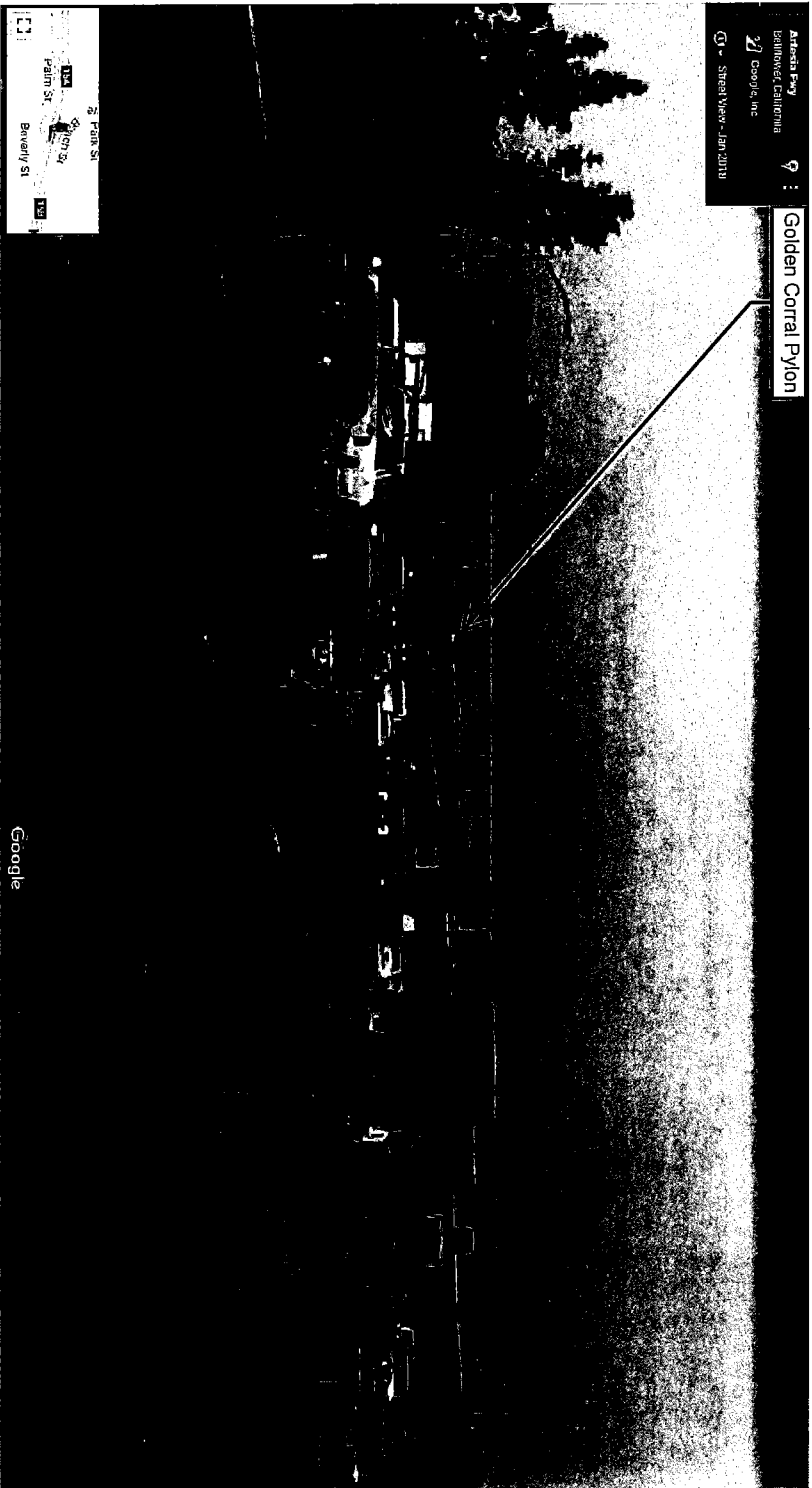
Using Google Maps, the Golden Corral pylon sign is visible at the bend on the Eastbound 91 freeway, approximately 3,061 feet from the sign itself. Other than the freeway sign structure (in photos below), the Golden Corral sign is clear to see and any commuter would be able to see in plenty of time to exit the freeway. The IN-N-OUT Burger pylon would not be in the way and would have to compete with the tall freeway noise barrier that has been erected prior to the Bellflower Blvd. exit. The next photos show the visibility of the Golden Corral sign from approximately 3061 feet and 2990 feet from the sign on the 91 Freeway.

**INO Bellflower, CA 17325 Bellflower Blvd.**



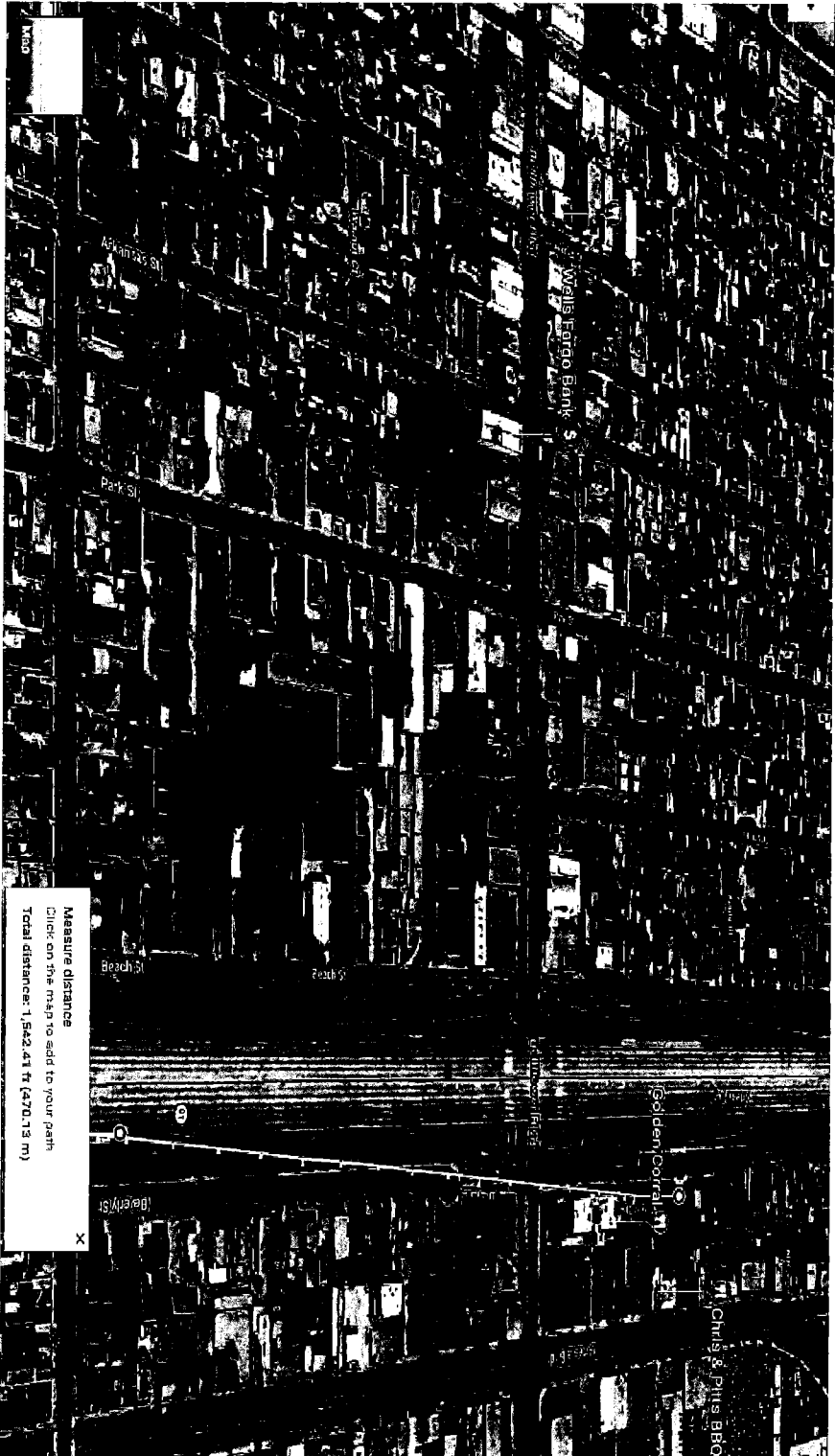
Eastbound 91 Freeway, approximately 3,000 feet from the Golden Corral pylon sign. Per the photo, you can see the structure, just under the Westbound freeway sign structure. The proposed INO pylon would be visible from here, but not in the line of site of the Golden Corral sign.

INO Bellflower, CA 17325 Bellflower Blvd.



Eastbound 91 Freeway, approximately 2,990 feet from the Golden Corral pylon sign. Per the photo, you can see the structure, just under the Westbound freeway sign structure. The proposed INO pylon would be visible from here, but not in the line of site of the Golden Corral sign.

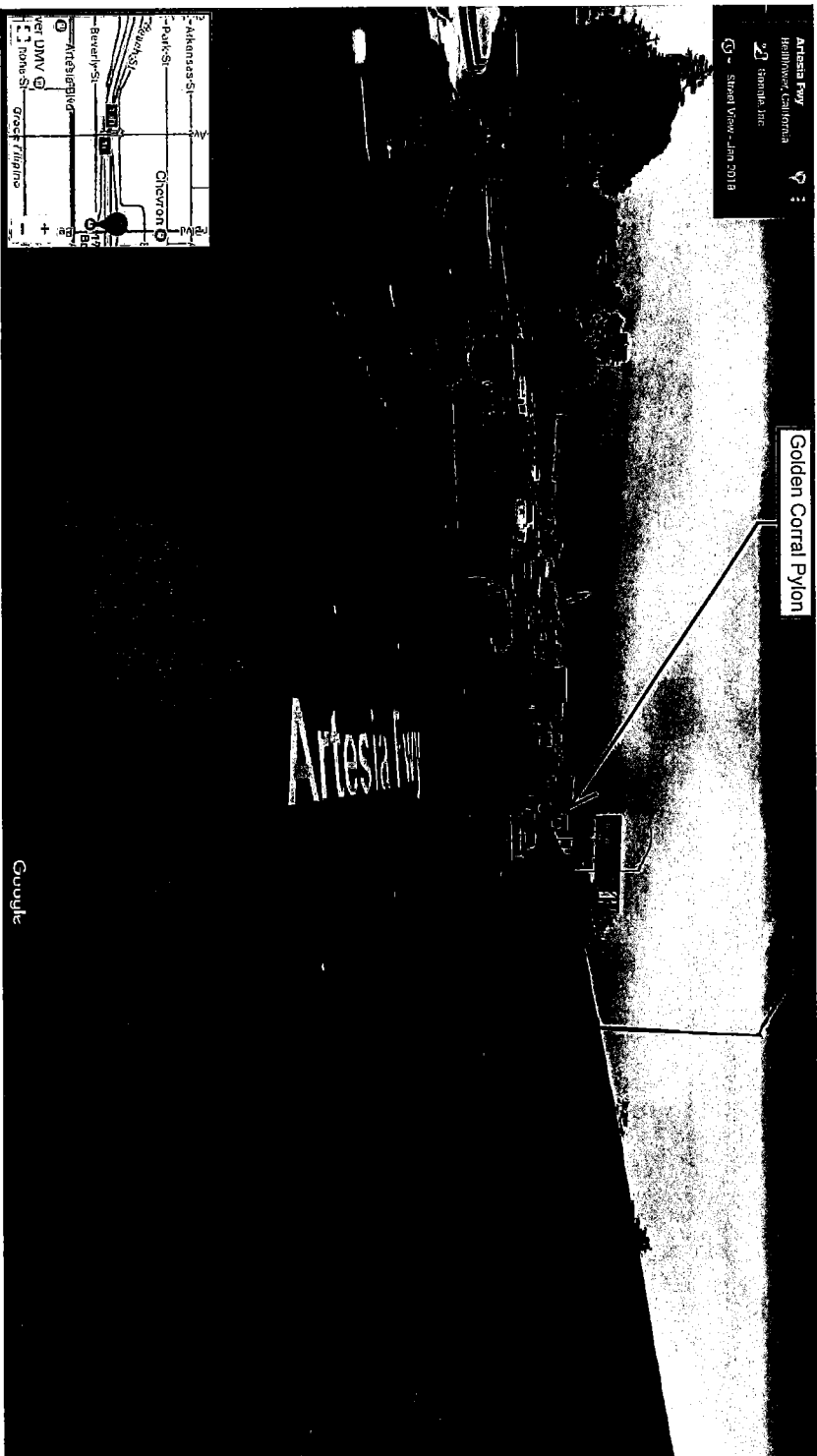
**INO Bellflower, CA 17325 Bellflower Blvd.**



From this Google map, you can see the line of site from the slow lane of Eastbound 91 to the Golden Corral sign. The proposed IN-N-OUT BURGER pylon locations are not in the line of site of the Golden Corral pylon sign. Please note the locations of the INO pylon sign on the map above.



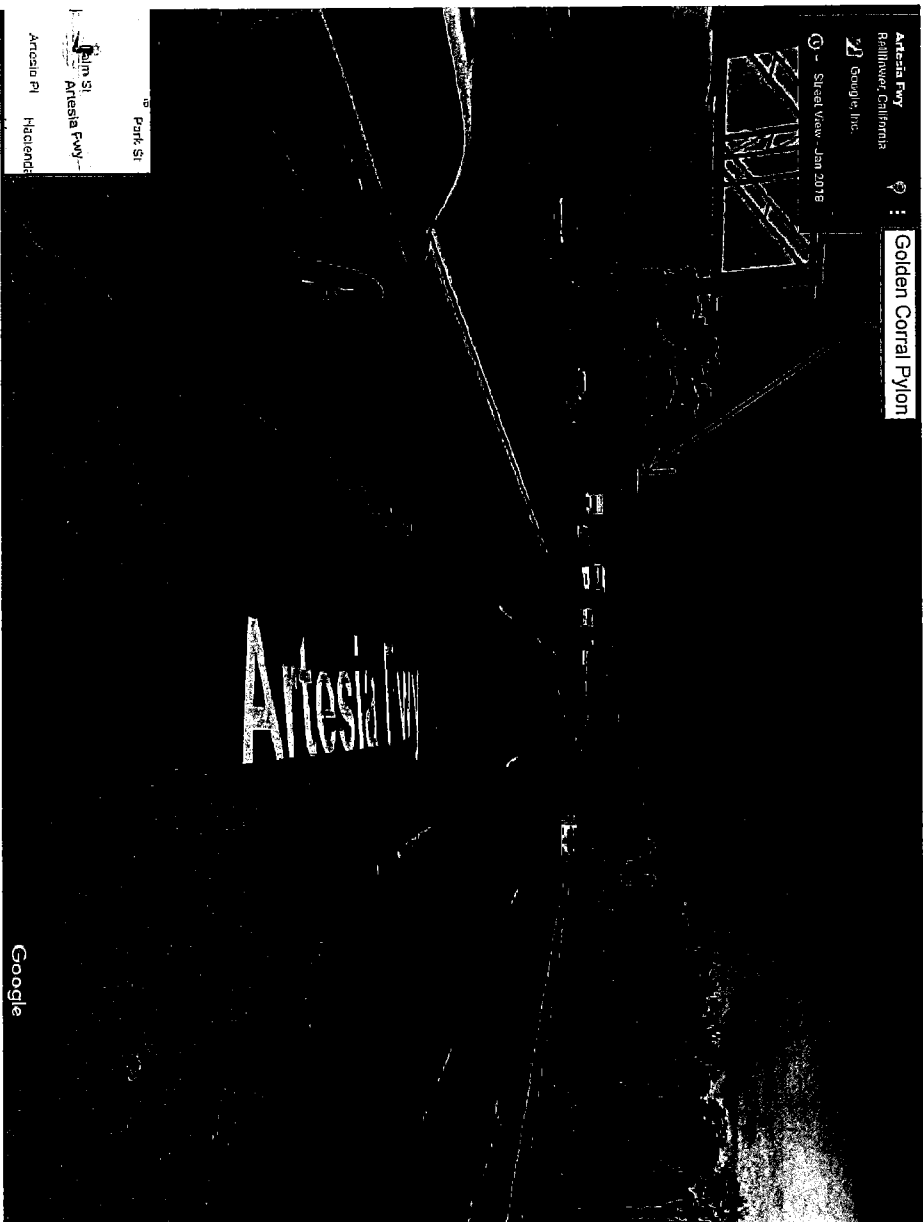
INO Bellflower, CA 17325 Bellflower Blvd.



Eastbound 91 view over Ardmore Avenue. You can still see the Golden Corral pylon sign. The IN-N-OUT BURGER pylon might be visible just under the Bellflower exit sign. It would not be in the line of site for Golden Corral.

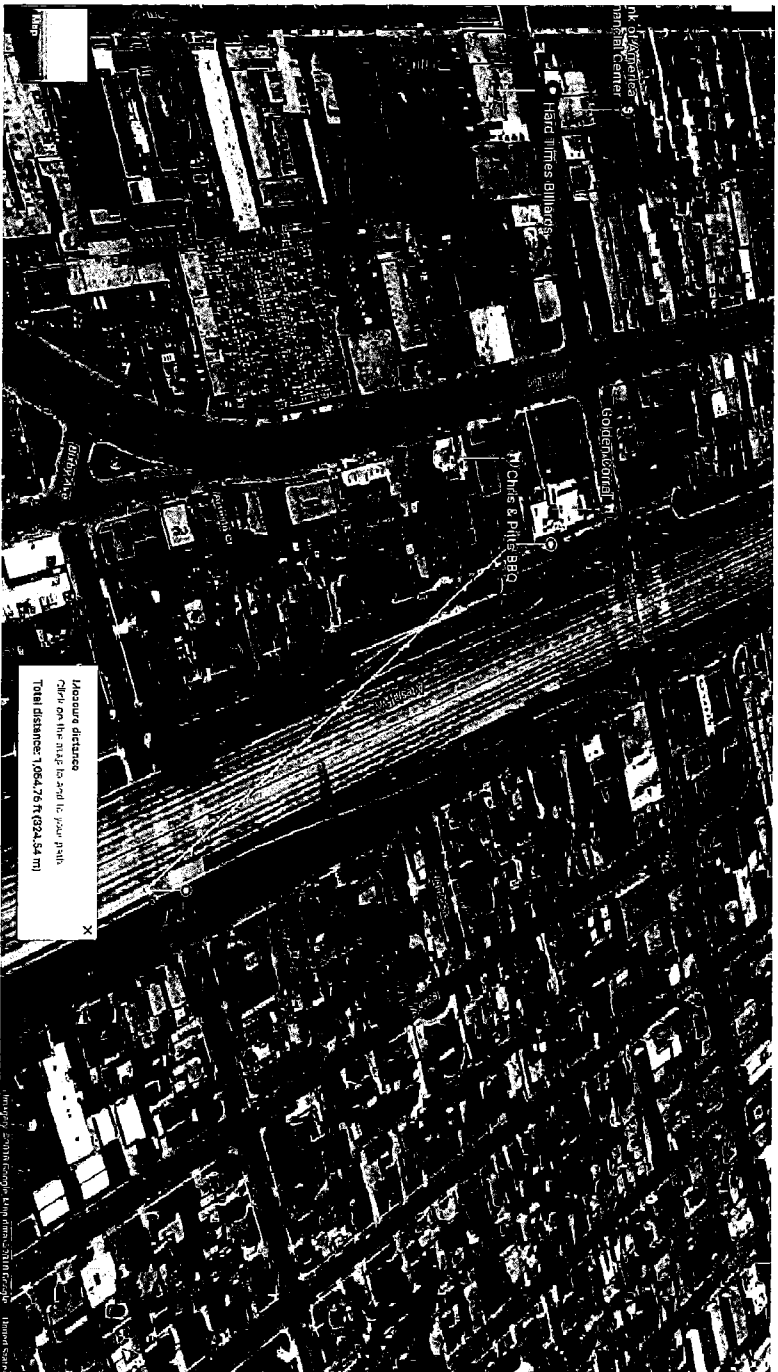


INO Bellflower, CA 17325 Bellflower Blvd.



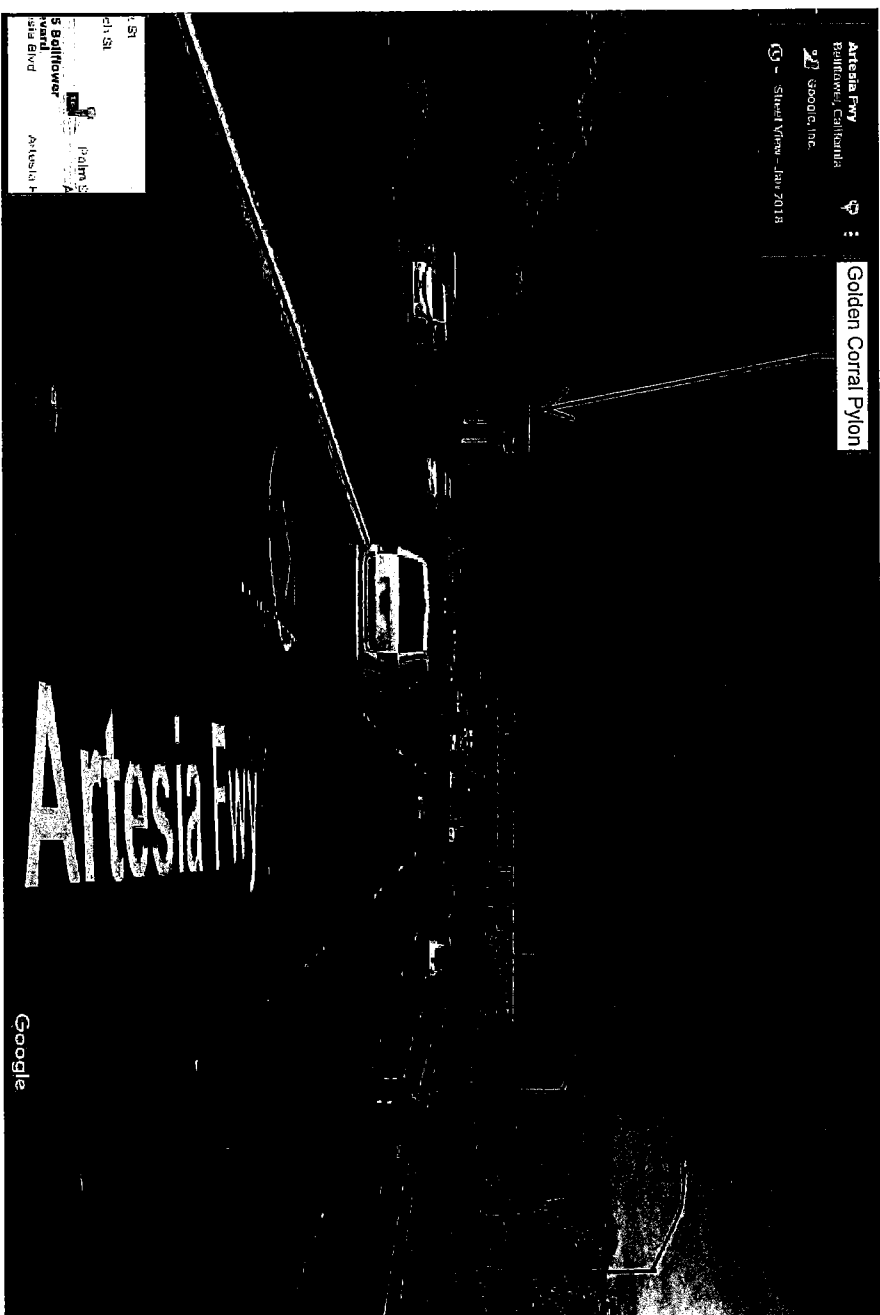
Westbound 91 traffic view from about 1400 feet from Golden Corral pylon.

**INO Bellflower, CA 17325 Bellflower Blvd.**



Westbound 91 traffic - line of site to Golden Corral pylon.

INO Bellflower, CA 17325 Bellflower Blvd.



Westbound 91 traffic view about 1000 feet from the Golden Corral pylon.

